



AGENDA
CITY OF CEDAR FALLS, IOWA
PLANNING AND ZONING COMMISSION MEETING
WEDNESDAY, APRIL 14, 2021
5:30 PM AT CITY HALL CITY COUNCIL CHAMBERS AND VIA VIDEO
CONFERENCE

The meeting will also be accessible via video conference and the public may access/participate in the meeting in the following ways:

- a) By dialing the phone number +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782 and when prompted, enter the meeting ID (access code) 886 2008 9534.
- b) iPhone one-tap: +13126266799,,88620089534# or +19292056099,,88620089534#
- c) Join via smartphone or computer using this link: <https://us02web.zoom.us/j/88620089534>.
- d) View the live stream on Channel 15 YouTube using this link: <https://www.youtube.com/channel/UCCzeig5nIS-dIEYisqah1uQ> (view only). e) Watch on Cedar Falls Cable Channel 15 (view only).

Call to Order and Roll Call

Approval of Minutes

- 1. Planning and Zoning Commission Regular Meeting Minutes of March 24, 2021 and Special Meeting minutes from February 10, 2021

Public Comments

Old Business

- 2. **Central Business District Overlay Site Plan Review (Case #SP20-012)**
Proposal: New Mixed Use Building
Location: 7th & Main
Applicant: Hi Yield, LLC (Brent Dahlstrom), Rose Schroder, AICP Bolton & Meck, Inc, and Slingshot Architecture
Previous Discussion: February 24, 2021
Recommendation: *Per applicant request, defer to a future meeting to allow time for applicant to address the parking*
P&Z Action: *Consider deferral to a future meeting*
- 3. **Land Use Map Amendment & Rezoning from M-1 to HWY-1 (Case #RZ21-002)**
Proposal: Rezone to allow medical office use of existing building
Location: 7009 Nordic Drive
Applicant: Lydia Brown; Skogman Realty
Previous Discussion: February 24, 2021
Recommendation: *Application has been withdrawn by request of the applicant*
P&Z Action: *No action is needed. Application is withdrawn.*
- 4. **Rezoning from A-1 Agricultural District and R-1 Residential District to MU Mixed Use Residential District (RZ21-001), and to update the Pinnacle Prairie Master Plan to include this new area.**
Location: 500 feet north of Huntington Road along the west side of Cedar Heights Drive
Applicant: Oster Family Limited Partnership
Previous discussion: Original proposal discussed September 9 and October 14, 2020, with P&Z recommending denial. Initial discussion of this revised proposal March 24, 2021

Recommendation: *Recommend Approval*

P&Z Action: *Hold public hearing and consider making a recommendation to City Council*

5. Zoning Code Text Amendments – Downtown Character District Regulations

Proposal: New zoning regulations for the Downtown Character District

Recommendation: *Open public hearing, discuss proposed amendments to the public review draft of the Downtown Character District regulations, continue the public hearing to the next meeting*

P&Z Action: *Discuss, provide direction, and continue the public hearing to the next meeting*

New Business

6. Central Business District Overlay Design Review (Case #DR21-003)

Proposal: Approval of various wheatpasting murals in the Central Business District Overlay

Location: Various sites downtown

Applicant: Isaac Campbell, UNI graduate student, Communications and Media Dept.

Previous Discussion: None

Recommendation: *Discuss and make a recommendation to City Council*

P&Z Action: *Review and make a recommendation to the City Council*

7. College Hill Neighborhood Overlay Review (Case #DR21-005)

Location: 704-706 W 28th Street

Applicant: Wes Geisler

Previous discussion: Request to add 2 additional bedrooms to a duplex for a total of 3 bedrooms/unit. (Previous application for four bedrooms/unit was denied by P&Z and City Council).

Recommendation: *Recommend Approval*

P&Z Action: *Review and make a recommendation to Council*

8. Minor Subdivision Plat – Lot 2 of Blain’s Corner 2nd Addition (Case #MP21-001)

Proposal: Minor plat of Lot 2 of Blain’s Corner 2nd Addition

Location: 219 Brandilynn Boulevard

Owner/Applicant: Davenport Farm and Fleet Inc./Andrea Rand, ISG Inc.

Previous Discussion: None

Recommendation: *Discussion and continue to the next meeting*

P&Z Action: *Review, provide direction, and continue to the next meeting*

9. Hwy-1 Site Plan – Aldi’s (Case #SP21-005)

Proposal: Hwy-1 Site Plan for Aldi’s grocery store

Location: 219 Brandilynn Boulevard (next to Blain’s Farm and Fleet)

Owner/Applicant: Davenport Farm and Fleet Inc./Andrea Rand, ISG Inc.

Previous Discussion: None

Recommendation: *Discussion and continue to the next meeting*

P&Z Action: *Review, provide direction, and continue to the next meeting*

Commission Updates

Adjournment

Reminders:

* March 24 and April 14 - Planning & Zoning Commission Meetings

* April 5 and April 19 - City Council Meetings

**Cedar Falls Planning and Zoning Commission
Regular Meeting
March 24, 2021
At City Hall and Via Videoconference
Cedar Falls, Iowa**

MINUTES

The Cedar Falls Planning and Zoning Commission met in regular session on March 24 at 5:30 p.m. via videoconference due to precautions necessary to prevent the spread of the COVID-19 virus. The following Commission members were present: Holst, Larson (arrived later), Leeper, Lynch, Prideaux, Saul, Schrad and Sears. Hartley was absent. Karen Howard, Community Services Manager, Michelle Pezley, Planner III, Jaydevsinh Atodaria, Planner I, were also present.

- 1.) Chair Leeper noted the Minutes from the March 10, 2021 regular meeting and work session, as well as the March 3, 2021 work session are presented. Ms. Lynch made a motion to approve the Minutes as presented. Ms. Sears seconded the motion. The motion was approved unanimously with 7 ayes (Holst, Leeper, Lynch, Prideaux, Saul, Schrad and Sears), and 0 nays.
- 2.) Public comments were brought forward at this time. Carol Weisenberger, 1010 W. 13th Street, brought forward a concern in her neighborhood with the appearance of Air B&B's. She spoke about a home in the neighborhood that has been used as an Air B&B and has been allowing more people to use the house than what is allowed for in their rental permit. She stated her concern with the fact that there is no plan in place for dealing with these kinds of facilities and there are no regulations for them. They do not fit into the current zoning for the property and Ms. Weisenberger would like this to be looked into.

Yvonne Pettegrew, 1115 West 12th Street, stated concern with the fact that the lack of regulations as it not only creating issues with parking and traffic, there is an increased amount of trash that is not being properly contained.

- 3.) The first item of business was a Central business District Overlay site plan review for a new mixed use building at 7th and Main Streets. Chair Leeper introduced the item and noted that the petitioner has requested to defer the item to a later meeting while they address parking issues.

Mr. Schrad made a motion to defer the item. Ms. Lynch seconded the motion. The motion was approved unanimously with 8 ayes (Holst, Larson, Leeper, Lynch, Prideaux, Saul, Schrad and Sears), and 0 nays.

- 4.) The Commission then considered a land use map amendment and rezoning from M-1 to HWY-1 at 7009 Nordic Drive. Chair Leeper introduced the item and noted that the applicant would like to continue the hearing to the next meeting.

Ms. Sears made a motion to continue the public hearing to the next meeting. Mr. Holst seconded the motion. The motion was approved unanimously with 8 ayes (Holst, Larson, Leeper, Lynch, Prideaux, Saul, Schrad and Sears), and 0 nays.

- 5.) The next item of business was a Central Business District Overlay design review at 302 Main Street. Chair Leeper introduced the item and Mr. Atodaria explained that new signage is proposed for the Lincoln Savings Bank and showed renderings of the proposed signage. He discussed the proposal for the signs and the requirements for projecting and wall signs. Mr.

Atodaria stated that staff recommends approval of the signage and that if the item is approved it will be moved to the next council meeting for consideration.

Mr. Schrad asked for clarification of whether the signs are lit. Mr. Atodaria explained that the projecting sign will be lit.

Mr. Schrad made a motion to approve the item. Ms. Prideaux seconded the motion. The motion was approved unanimously with 8 ayes (Holst, Larson, Leeper, Lynch, Prideaux, Saul, Schrad and Sears), and 0 nays.

- 6.) The next item for consideration by the Commission was a request to rezone the area 500 feet north of Huntington Road along the west side of Cedar Heights drive from A-1 and R-1 to MU and update the Pinnacle Prairie Master plan. Chair Leeper introduced the item and Ms. Howard provided background information. She noted that this was a new application for a rezoning, but a similar request was considered last year by the Commission and was denied. She explained the current uses and how they would change if rezoned and noted that the applicant would like to incorporate this area into the larger Pinnacle Prairie Master Plan. The item was reviewed in the fall and part of the review included looking at the future land use map in this location and updating that as well. She noted that the Commission had recommended approval of the change to the Future Land Use Map at that time. She noted the applicant would like to refine the master plan for Pinnacle Prairie East. Ms. Howard displayed the 2015 Master Plan and discussed the potential update. She discussed the previous proposal in 2020 that was denied due to a lack of an east-west street connection to Cedar Heights Drive. With this new master plan proposal they show a new street layout that includes extension of Prairie View Road to Cedar Heights Drive at its intersection with Huntington Road. They would propose to continue to use their same design standards as apply currently in the Pinnacle Prairie development, which establishes prairie-style aesthetic. Ms. Howard explained that there will be focus on alley loaded types of townhomes and the neighborhood commercial area will have street access and trail connections to ensure residents have easy access. She elaborated on the Prairie View Drive extension to connect with Cedar Heights Drive and noted that there are still some outstanding questions about the viability of the commercial area shown on the master plan due to floodplain issues. If it is determined that the commercial area is not feasible, the applicant has agreed to shift the east-west extension of Prairie View Road to the north to extend along the southern boundary of the multi-family area that is the subject of this rezoning. Howard noted that if this were to occur, then the concept plan shown for the multi-family area will need to be modified to accommodate the street right-of-way.

Ms. Howard displayed a view of the area proposed for rezoning, noting that it will contain primarily multi-family development with approximately 12 units per acre with buildings oriented toward the street and good access to open space amenities and trails. The street network and traffic circulation will provide good public access to the trail network and a park, the streets will be laid out in an attractive yet connected curvilinear pattern, and the open space is well distributed. She explained some of the potential adjustments with regard to the east-west connection. The location has access to public services and Ms. Howard noted that adjustments to the open space, parks and trails will be addressed in the development agreement. With regard to technical comments she explained that a preliminary and final plat will be required prior to any land sales within the master plan area. Although the issues in the previous developmental procedures agreement have now been resolved, a new agreement will need to be drafted and signed prior to setting a public hearing at City Council for the requested rezoning. Staff recommends initial discussion at this time and setting public hearing for April 4.

LeaAnn asked why we don't know if commercial will be allowed in that spot. Ms. Howard explained that the floodplain maps are currently under review for changes so it will depend on

when the plan is submitted and whether they can comply with the new flood insurance rate maps, likely to be finalized by FEMA next spring.

Eric Johnson, Beecher Law Firm, asked if Carrie Hansen had joined the meeting online. Staff stated that she was not. He explained that he is available for any questions with regard to the project.

Since there were no questions, Mr. Larson made a motion to set the public hearing for April 14, 2021. Ms. Sears seconded the motion. The motion was approved unanimously with 8 ayes (Holst, Larson, Leeper, Lynch, Prideaux, Saul, Schrad and Sears), and 0 nays.

- 7.) The next item of business was a public hearing regarding the Imagine College Hill! Vision Plan. Chair Leeper introduced the item and Ms. Pezley provided background information. In response to questions asked at the last meeting, she described the public outreach conducted throughout the planning effort. She noted that the City sent mailers to residents, local property and business owners, issued press releases, radio and television interviews and other means for getting the word out regarding the plan and encouraging feedback. She also noted that the College Hill Partnership had also made significant effort to encourage participation in the planning effort. Pezley also addressed the question about equity in planning efforts raised during the last meeting and explained how the language in the plan related to providing more housing and business opportunities to a wider diversity of people could be further enhanced and discussion of leveling the playing field between student renters and other populations who would like to live in the area and how the plan addresses this type of neighborhood stabilization.

In response to some questions posed at the last meeting, Mary Madden of Ferrell Madden spoke about the vision plan, explaining that it is a policy document and not regulatory. There have been questions regarding how the zoning ordinance will be updated to implement the vision plan. She noted that this is the next step in the process, so there is nothing in the vision plan that indicates specific parking requirements. She noted that the plan is intended to identify the aspirations for the area and possible barriers to that vision and possible solutions to consider. In their research they heard a strong desire for revitalization and redevelopment, particularly in the business district. It is important to keep in mind that you are dependent on private re-investment to make re-development happen and that there are several things the city can do to help encourage that. Those include establishing new public policies, changing regulations, such as zoning, and additional public improvement (sidewalks, public spaces, stormwater, etc.).

Ms. Madden discussed that their market analysis revealed that the key to unlocking re-development potential is to consider changes to parking requirements and adjustments to parking policies. It is recommended that the city revise the current parking standards as part of the zoning update, coordinating parking management with UNI, continue to implement the parking study strategies and consider additional parking management tools in the future as needed. Ms. Fadden explained that College Hill has parking demand concerns that are due to two significant factors. The parking in College Hill is less expensive than parking in university facilities. It is also closer in proximity to the center of campus than many of the University parking areas. Together, they make College Hill a preferred parking location even though the University has plenty of available parking at reasonable rates. She stated that the question is who should get to park on city streets and how much should they pay. The study for the business district shows that it is important to have short term parking available for people who frequent those businesses. Ms. Madden discussed the parking ratios and prototypical projects and what is determined accordingly. She provided renderings of theoretical building footprints and prototypes as part of the vision as they were trying to determine how much development is possible under the current parking requirements and what is possible if changes are made.

These examples are intended to provide insight into the type of changes in policy and regulation will likely be need to achieve the vision expressed by the community.

Ms. Madden also discussed the current parking requirements and how they will affect potential projects. One option she discussed was the possibility of off-site parking and what some of the pros and cons would be for that choice. She also addressed comments from the last meeting regarding social equity. She also noted that one of the really significant costs in housing is parking and that if a parking space is required for every bedroom, families or those without cars are paying for parking they do not need, which drives up rents.

Ms. Pezley then discussed specific changes to the plan language recommended by staff and the consultants.

Becky Hawbaker, 2309 Iowa Street, would like to add a comment for preserving the neighborhood area. She supports development that will bring a greater diversity of business to the Hill, but she would like to ensure that the owner-occupied areas are also preserved.

Christopher Martin, 421 West Seerley, is the president of the College Hill Partnership and stated that they are really excited for the vision plan and noted what he feels are important points. He feels that it encourages students to live closer to campus where they have a better opportunity of being successful. It also encourages stabilization of neighborhoods. It encourages resilience by encouraging multiple modes of transportation, in particular walking and riding bikes. He also stated that the businesses would like to have more customers from the neighborhood, so more density is needed.

Kathryn Sogard, 330 Columbia Circle, reiterated that the College Hill Partnership's mission is very cohesive with the proposed plan. It is important for the city and students to mesh well and improve living conditions for each other.

Eashaan Vajpeyi, 3831 Convair Lane, stated that the Section 8 Program always has a long waiting list and there is a lack of properties available. He feels that staff should consider working with City Council to make this program a priority for redevelopment on the Hill and bring more diversity to the area. He discussed issues he sees with the parking standards and spoke about the parking study that was done. He would like the Commission to listen to the citizens and tell Council that they like the plan but would like more parking.

Andrea Geary, 1816 Tremont, feels that the City hasn't given enough time to considering marginalized populations and thinks the City should go out of their way to reach out to other populations to get their feedback.

Ms. Madden spoke to Mr. Vajpeyi's comments and reiterated that they are attempting to ask the questions of who needs the parking, who provides it, who pays for it and where is it located. Any developer is able to choose to provide more parking if they feel the need, but the question is whether the City is requiring people to provide more parking than is needed.

Mr. Schrad asked why no-car rental units aren't built for walking students only. He also noted that there are only 74 days of the year where the weather is conducive to walking and those fall mostly in the summertime, which is not a time where parking is an issue.

Ms. Saul agreed with Mr. Vajpeyi in that she feels that if the Commission passes this without comments about really working on the parking issues, the Council will feel that they voted for it so they must feel it is good the way it is. She feels it is a wonderful plan, but the parking needs to be addressed.

Ms. Prideaux believes that it is a good plan, and that parking is always a contentious topic in any city. She feels the plan sets a reasonable standard and that it encourages a healthier lifestyle and more walking. She also added that she feels that the City has done all that they could to promote input options, however the Commission is all white and structurally that should be a greater consideration with future appointments.

Mr. Holst likes the vision plan overall and understands that parking is a big concern. He is also struggling with the diversity issue, but wonders how it could be addressed at this point in the project. He asked Ms. Geary if she had any suggestions on how to accomplish what she felt was lacking in the outreach efforts.

Mr. Larson feels the Commission should give extra effort to the parking concerns to find a balance. He would like to see some discussion and engagement with Council. He feels the plan is fantastic.

Mr. Larson made a motion to approve the item. Ms. Prideaux seconded the motion. The motion was approved with 7 ayes (Holst, Larson, Leeper, Lynch, Prideaux, Saul, and Sears), and 1 nay (Schrad).

- 8.) The next item for consideration was rezoning and zoning code text amendments. Chair Leeper introduced the item and Ms. Howard provided brief comments. She noted that the code and regulating plan were presented about a month ago and it has been posted for public review during that time. There have been four work sessions to discuss the elements of the code and comments have been received from citizens. The next step will be to set a public hearing.

Mr. Schrad made a motion to set a public hearing for April 14, 2021. Ms. Lynch seconded the motion. The motion was approved unanimously with 8 ayes (Holst, Larson, Leeper, Lynch, Prideaux, Saul, Schrad and Sears), and 0 nays.

- 9.) As there were no further comments, Ms. Lynch made a motion to adjourn. Mr. Holst seconded the motion. The motion was approved unanimously with 8 ayes (Holst, Larson, Leeper, Lynch, Prideaux, Saul, Schrad and Sears), and 0 nays.

The meeting adjourned at 7:30 p.m.

Respectfully submitted,

Karen Howard
Community Services Manager

Joanne Goodrich
Administrative Assistant

**Cedar Falls Planning and Zoning Commission
Special Meeting
February 17, 2021
Via Videoconference
Cedar Falls, Iowa**

MINUTES

The Cedar Falls Planning and Zoning Commission met in special session on February 17, 2012 at 5:30 p.m. via videoconference due to precautions necessary to prevent the spread of the COVID-19 virus. The following Commission members were present: Hartley, Holst, Larson, Lynch, Prideaux, Saul, Schrad and Sears. Leeper was absent. Karen Howard, Community Services Manager, was also present.

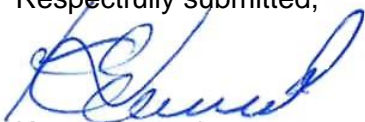
- 1.) Acting Chair Larson explained that the meeting will just be a presentation regarding the proposed zoning code for downtown. Ms. Howard took the roll and introduced code consultants Mary Madden, Geoff Ferrell and Elizabeth Garvin of Ferrell Madden, who presented an overview of the proposed Downtown Zoning Code. They also provided the schedule for the upcoming process and Ms. Howard explained that there will be several opportunities for the public to ask questions and provide their thoughts.

Ms. Saul asked about the downtown first floor retail space and what the definition of that would be, in particular whether or not it would include service or office spaces. Ms. Madden explained that it is described as retail and services, noting that private offices would be discouraged. The idea is to have an active area that the public would frequent. Mr. Farrell added that there could be a lobby or entrance for office space above.

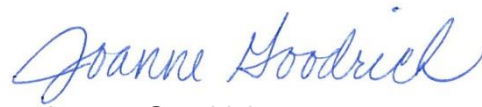
- 2.) As there were no further comments, Ms. Saul made a motion to adjourn. Ms. Lynch seconded the motion. The motion was approved unanimously with 8 ayes (Hartley, Holst, Larson, Lynch, Prideaux, Saul, Schrad and Sears), and 0 nays.

The meeting adjourned at 6:13 p.m.

Respectfully submitted,



Karen Howard
Community Services Manager



Joanne Goodrich
Administrative Assistant



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
220 Clay Street
Cedar Falls, Iowa 50613
Phone: 319-273-8600
Fax: 319-273-8610
www.cedarfalls.com

MEMORANDUM

Planning & Community Services Division

TO: Planning & Zoning Commission
FROM: Karen Howard, AICP, Planning & Community Services Manager
DATE: April 8, 2021
SUBJECT: Rezoning Request 4800 Block Cedar Heights Drive Oster Property (RZ21-001)

REQUEST: Rezone property from A-1, Agricultural District and R-1, Residential Zoning District to MU, Mixed Use Residential Zoning District. Update the Pinnacle Prairie Master Plan accordingly.

PETITIONER: Oster Family Limited Partnership

LOCATION: 500 feet north of Huntington Road, west Side of Cedar Heights Drive

PROPOSAL

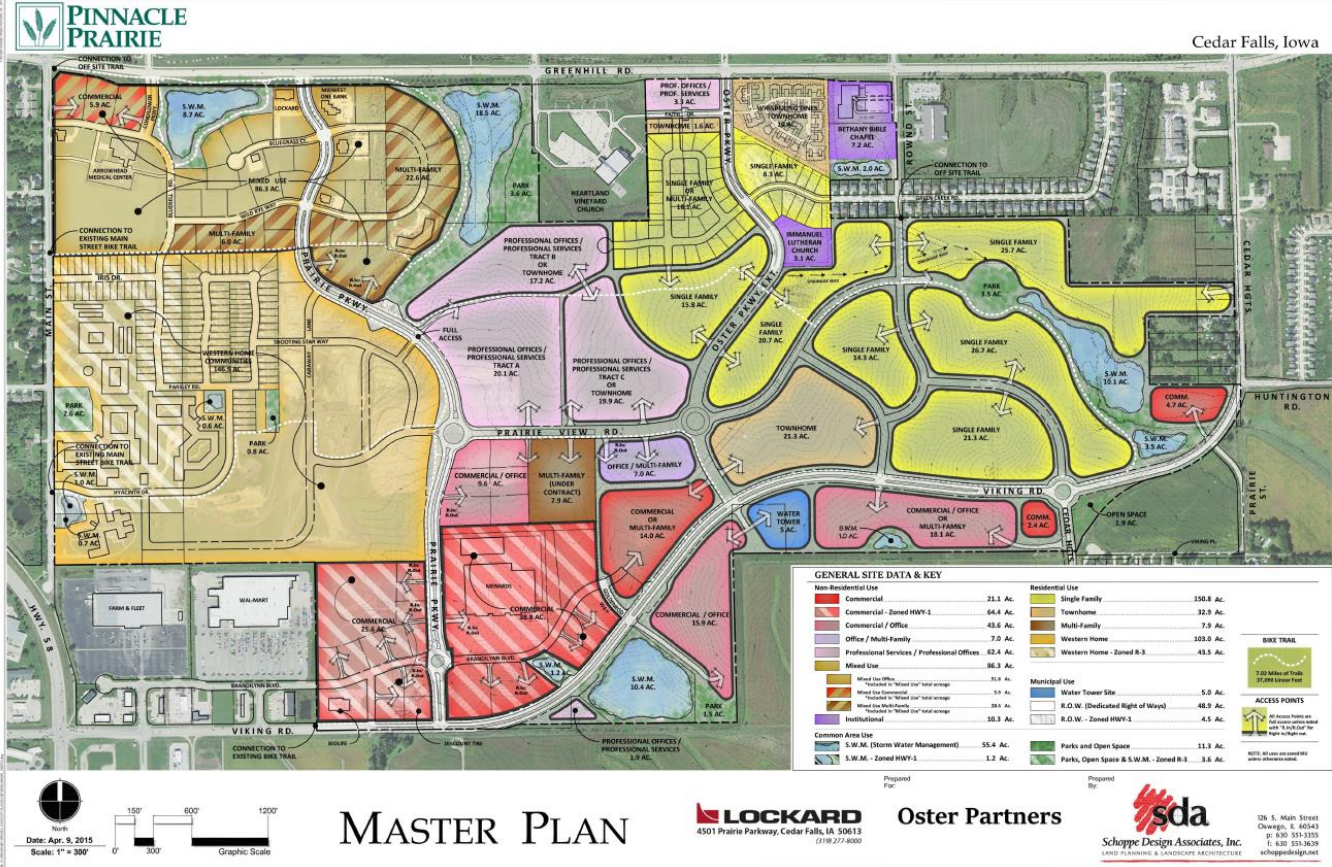
Oster Family Limited Partnership has requested to rezone approximately 15 acres of property from the A-1, Agricultural District (approx. 12 acres) and R-1, Residential Zoning District (approx. 3 acres) to MU, Mixed Use Residential Zoning District. As shown on the attached rezoning plat, this property is located 500 feet north of Huntington Road along the west side of Cedar Heights Drive. The applicant has submitted a concept plan for the area proposed for rezoning that will be intended largely for multi-unit dwellings.

BACKGROUND

A similar rezoning request was considered by the Planning and Zoning Commission in September and October 2020. That petition was denied by the Commission due to the lack of an east-west street connection through the development to Cedar Heights Drive. The applicant had revised their original proposal to modify the street pattern to include a street connection that will align with the Huntington Drive intersection with Cedar Heights Drive. They are now requesting to incorporate this new area of multi-unit dwellings into the Pinnacle Prairie Master Plan, which is zoned MU, Mixed Use Residential Zoning District.

The approximately 624 acres to the west and south were rezoned from RP Planned Residential Zoning District and A-1 Agricultural Zoning District to MU Mixed Use Residential Zoning District in 2004, subject to a developmental procedures agreement and master plan, known as Pinnacle

Prairie. The submitted master plan was revised in 2015, with an associated amendment to their developmental procedures agreement. The approved 2015 Master Plan is shown below for reference and is also included in your packet as an attachment.



The property north of the subject property is currently zoned C-1 Commercial Zoning District, and is developed with multi-unit dwellings. The property across Cedar Heights Drive to the east was zoned MU in 2006, but the area along Cedar Heights Drive intended for commercial uses remains undeveloped.

The intent of this request for rezoning is to incorporate the subject property into the larger Pinnacle Prairie MU District and update the eastern portion of the master plan accordingly. A draft "Pinnacle Prairie East Concept Plan" is attached to this report.

If the rezoning is approved and master plan updated, the next step would be to bring forward a preliminary plat for the larger concept plan area. This will make it possible to final plat the multi-family area, so the owner can market it to potential buyers. A detailed site plan would be submitted when development is proposed, which will need to be in compliance with the adopted master plan and subdivision plat. The developmental procedures agreement will also need to be updated to address the changes in the master plan.

ANALYSIS

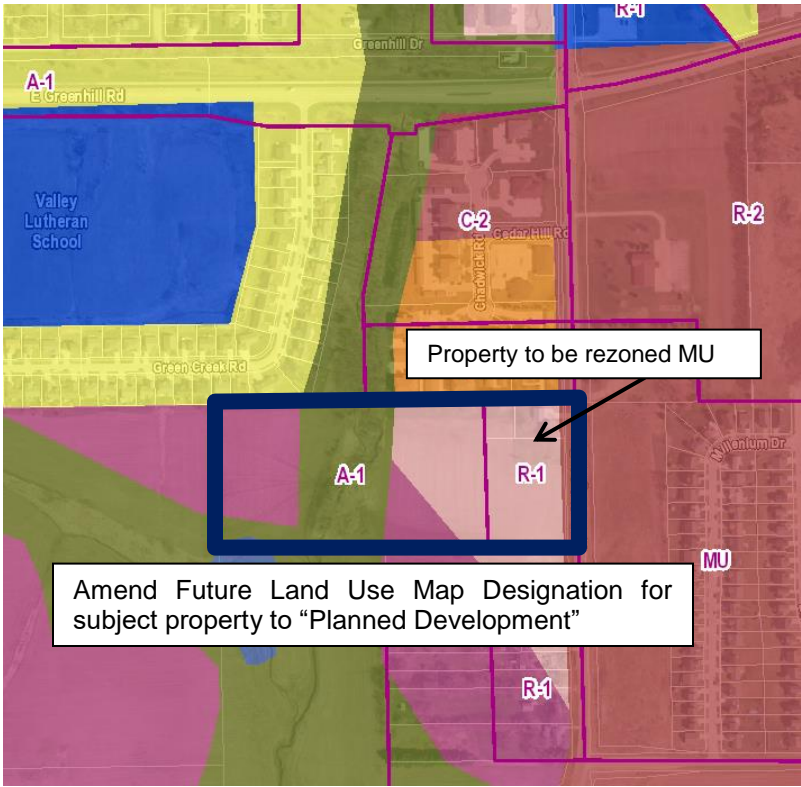
Existing and Proposed Zoning

The purpose of A-1 Agricultural District is to act as a "holding zone" in areas of the city that are undeveloped and not served by essential municipal services (i.e., sanitary sewer, water, roadways) but where future growth and development is anticipated according to the Comprehensive Plan. The purpose of R-1 Residential Zoning District is to provide opportunities for low density, primarily single-dwelling residential development in areas that are served by essential municipal services.

The Mixed Use (MU) Residential Zoning District designation is established for the purpose of accommodating integrated residential and neighborhood commercial land uses on larger parcels of land for the purpose of creating viable, self-supporting neighborhood districts. The MU residential district strives to encourage innovative development that incorporates high-quality building design, careful site planning, and preservation of unique environmental features with an emphasis upon the creation of open spaces and amenities that enhance the quality of life of residents. To that end, a detailed master plan is required at the time of rezoning. As stated previously, an updated master plan for the eastern portion of the Pinnacle Prairie development has been submitted by the applicant. This includes the area proposed for rezoning. The draft "Pinnacle Prairie East Concept Plan" is described in more detail below. However, the first test for a proposed rezoning is whether it complies with the Comprehensive Plan.

Compliance with the Comprehensive Plan and Future Land Use Map

During review of the previous rezoning proposal, the Commission voted to recommend a change to the Future Land Use Map in the in the City's Comprehensive Plan. The Future Land Use Map in the City's Comprehensive Plan designates the area that is the subject of the rezoning request as a combination of "Office and Business Park," "Planned Development," and "Greenways and Floodplain," as shown on the following page. The applicant made a good case that the appropriate designation is "Planned Development" as it will allow this area to be integrated into the master planned development to the west and south. Staff concurred, provided there are adequate street connections provided from the new proposed MU area to the Pinnacle Prairie development to the west. Staff also agreed with their assessment that *"the property located on the east side of Cedar Heights Drive across the street from the subject property is identified on the City's Plan as "Neighborhood Commercial/Mixed Use" and is entitled for a retail commercial center. Additional residential units in this area will increase the viability of the development of the site for neighborhood commercial use and provide retail and service businesses within walking distance of the proposed project."* There is a concern that there may be too much area designated on the future land use map for commercial use to be supported by the market, which may explain why the land on the east side of Cedar Heights Drive remains undeveloped. Additional residential development in the area may provide additional market demand for neighborhood commercial development. **The Commission's recommendation to amend the Future Land Use Map to designate the area as appropriate for "Planned Development," will be forwarded to City Council concurrent with the proposed rezoning request.**



Future Land use Map (Legend)

Planned Development-
Office and Business Park -
Greenways and Floodplain-



Amendment to the Pinnacle Prairie Master Plan

As stated in the zoning ordinance, “the owner of a property may seek approval of a mixed use residential zoning designation with the simultaneous submittal of a comprehensive development site plan. Zoning approval cannot be given without an approved development site plan.”

Fortunately, in this case a significant amount of work and thought has already been done on the Pinnacle Prairie MU District master plan, so it is a matter of amending the current (2015) master plan to incorporate the area proposed for rezoning into this larger plan for development of the mixed use neighborhood. There are a number of elements listed in the zoning code that are required to be addressed in the master plan, as listed below:

- (1) Building locations.
- (2) Streets, drives, accessways.
- (3) Parking lots.
- (4) Landscape plan, open space areas.
- (5) Pedestrian traffic plan, including sidewalks, bicycle paths.
- (6) Architectural renderings of all sides of each building, including accessory structures.
- (7) Signage plan.
- (8) List of expected uses within the development.

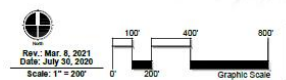
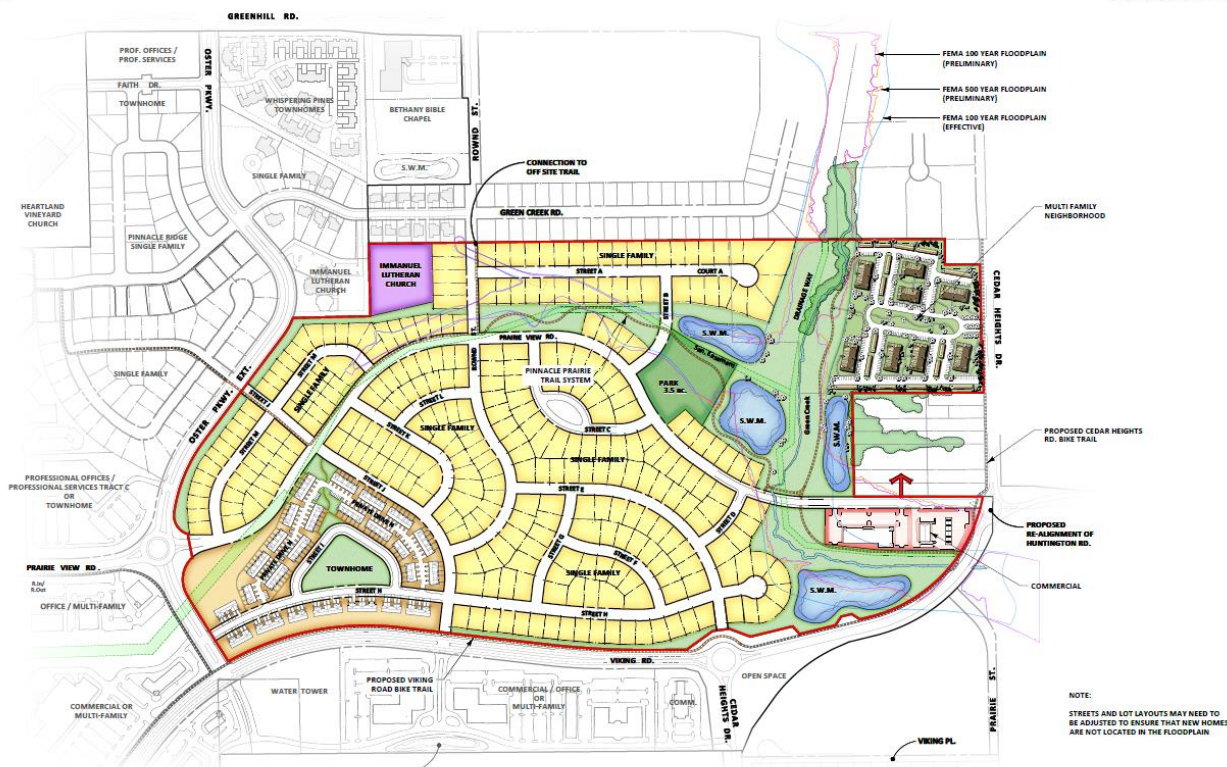
- (9) Stormwater detention and erosion control plans.
- (10) Topographic features of the site including land and soils capability analysis.
- (11) Residential densities.
- (12) Natural drainageways, floodplain areas.
- (13) Municipal utility locations.
- (14) Residential recreation or park areas.

In a larger MU District, such as Pinnacle Prairie, which encompasses more than 600 acres, build out takes years and portions of the master planned area may be sold to other developers, who will prepare detailed site plans for their portion of the development. Therefore, in practice, our expectation is that the master plan would address each of these elements generally, with the specific requirements met during subdivision review and site plan review for specific building sites once development is imminent.

There does, however, need to be a level of detail necessary to evaluate the rezoning request and to establish how the area will function as a cohesive and well-planned neighborhood at full build-out, including the street network, plan for the extension of utilities, sanitary sewer, and stormwater management, proposed distribution of various land uses and housing types, and plan for parks, trails, and open space amenities, and any neighborhood-serving commercial areas. Each of these aspects of the proposed updated master plan is discussed in more detail below.



Cedar Falls, Iowa



PINNACLE PRAIRIE EAST CONCEPT PLAN

LOCKARD 4301 Public Parking Cedar Falls, IA 50613
Oster Partners
sda Schaefer Design Associates, Inc. 124 S. High Street, Cedar Falls, IA 50613

The revised Pinnacle Prairie East Concept Plan is shown above and is included as an attachment in your packet for more careful review. Note that there are a number of notable areas on the concept plan:

- There are two north-south street connections through the concept plan area: Oster Parkway and Rownd Street/Street E to the roundabout that links Cedar Heights Drive to Viking Road.
- With this proposal, Prairie View Road is extended in a curvilinear, yet easterly direction to connect with Cedar Heights Drive at the intersection of Huntington Road. This will provide an important means of access and circulation for area residents.
- The townhome area illustrates that a majority of the units would have vehicular access from rear alleys. Additional information about the townhome area is described in the next section of the report;
- A note has been added to the concept plan that street and lot layouts may need to be adjusted to ensure that new homes are not located in the floodplain. New lots cannot be platted with more than 25% of their lot area within a flood hazard area.
- It should also be noted that the small commercial area in the southeast corner of the development that includes the extended Prairie View Road and Huntington Road intersection will be almost entirely within a flood hazard area, if the new preliminary FEMA Flood Insurance Rate Maps are adopted in 2022. This area will need to be platted, including the street connection across the Green Creek, prior to the adoption of the new maps to avoid violation of the subdivision platting rules as noted above.
- The applicant has indicated that if for whatever reason the commercial area becomes unviable due to floodplain issues, that adequate area will be reserved for a potential east-west street connection along the southern edge of the multi-family area to Cedar Heights Drive. This commitment will need to be included in the development agreement required with the change to the master plan. Currently the concept plan illustrates a drive flanked by parking spaces and garages. If the multi-family area is proposed for final plat and site plan review prior to the commercial area, the proposed layout of the multi-unit dwellings, drives, parking, and garages will need to be adjusted to reserve the area as an outlot unencumbered with garages and parking to ensure a street can be appropriately designed and constructed through this area. In addition, the centrally located access may need to be shifted to the north to ensure adequate spacing with this potential future street. All these adjustments can be avoided if the commercial area is platted and street constructed prior to the multi-family area.

Land Uses

In the case of Pinnacle Prairie, since specific building designs were not known at the time of rezoning and the owner desired to establish a certain design aesthetic and ensure a high quality living and business environment, a set of design guidelines (*The Pinnacle Prairie General Design Guidelines*, dated 2-23-16) and a private design review process was set up to ensure a consistent quality of construction and design throughout the neighborhood.

The Pinnacle Prairie MU district is divided into distinctive areas, each with its own set of allowed uses and design guidelines. The area generally east of Oster Parkway is entitled, *The Villages*, which is in large part residential in character, with a mix of single family, townhouses, and with the addition of this newly proposed area along Cedar Heights Drive, it will contain approximately 12 additional acres intended for multi-family dwellings and an additional 3 acres for single family

development. This area also includes the small neighborhood commercial area at the intersection of Cedar Heights Drive and Huntington Road. The applicant proposes to use the same set of design guidelines for the areas requested for rezoning.

There are separate design standards for each residential building type. The pages of the design guidelines related to each of these dwelling types are attached for your reference. These standards will ensure that the area proposed for rezoning will be developed with the same level of design as the rest of the Pinnacle Prairie development, including landscaping, signage, and the general Prairie-style aesthetic envisioned by the owner.

Staff notes that when individual site plans are submitted for review, the placement of the buildings, parking, and open space amenities should be carefully reviewed through the Planning and Zoning Commission and City Council to ensure a high quality living environment for future residents. Multi-family buildings should be oriented toward the street with parking located behind, under, or to the side of buildings and screened with landscaping. Each building should have usable yard/courtyard areas as well as good access to neighborhood open space amenities and trails.

For townhomes, staff recommends a focus on alley-loaded models as shown in the design guidelines as there is a general lack of this housing type in the community and it will reduce the need for extensive driveway curb cuts along neighborhood streets and ensure that these higher density dwellings will fit more seamlessly into the single family residential character of the neighborhood. The applicant has refined the townhome area in the concept plan to show a concept of rear-loaded units that front on the street with garages located at the rear of the units with access from an alley. Some additional minor adjustments to the street pattern when the area is platted may yield a more efficient layout and break up the longer blocks, but staff finds that the concept captures the intent to provide an alley-loaded product. If driveways are moved to the alley rather than the street, it will:

- reduce traffic congestion and vehicular conflict points on fronting streets;
- achieve streets with sidewalks uninterrupted by front driveways;
- provide more room for street trees and front yard landscaping; and
- reserve the street space for on-street parking for visitors.

Staff also notes that if alley-loaded townhome designs are used there may be more opportunities to integrate townhomes strategically throughout the neighborhood rather than concentrating them in just one large area.

With regard to the small commercial area, buildings would also have to meet the Pinnacle Prairie design guidelines and will be reviewed in detail at the time the area is proposed for development. As noted below, the street access and trail access should be carefully designed to ensure that neighborhood residents have easy access to what is intended to be a neighborhood-serving commercial area.

Street network and traffic circulation

The 2015 master plan illustrates the roadway alignments, access locations and proposed intersection designs and locations for the major streets within the development (Prairie Parkway, Oster Parkway, Viking Road, and a portion of Prairie View Road. Other potential streets connections are also illustrated, but additional local streets are just conceptually shown with

arrows. Lots and blocks are not illustrated so it is difficult to understand how the neighborhood would be laid out with a local street pattern, and how the trails, parks, and stormwater management areas would be located in relation to the streets. Staff requested that the applicant submit a more defined concept plan showing a concept for streets, blocks and lots, so one can clearly see how the neighborhood could function as a whole. This preliminary work will be a precursor for the subdivision platting, which will be required prior to sale of any portion of the development, including the multi-family area proposed for rezoning.

The submitted concept plan for the transportation network has a number of positive aspects:

- There is good public access to the trail network and to the 3.5 park, which fronts on both Prairie View Road and Street B;
- Streets are laid out in an attractive curvilinear and generally connected pattern. Some of the block lengths exceed the recommended block length of 600 feet, but with a few adjustments at the time of platting this can be addressed, such as extending Street G to connect with Street C.
- Open space appears to be well distributed throughout the neighborhood with a trail system to linking them to provide walking and biking routes.
- Prairie View Road, a major collector, will extend across the area to provide circulation within and through the neighborhood with connection points with major north-south routes at Oster Parkway, Rownd, and Cedar Heights Drive.

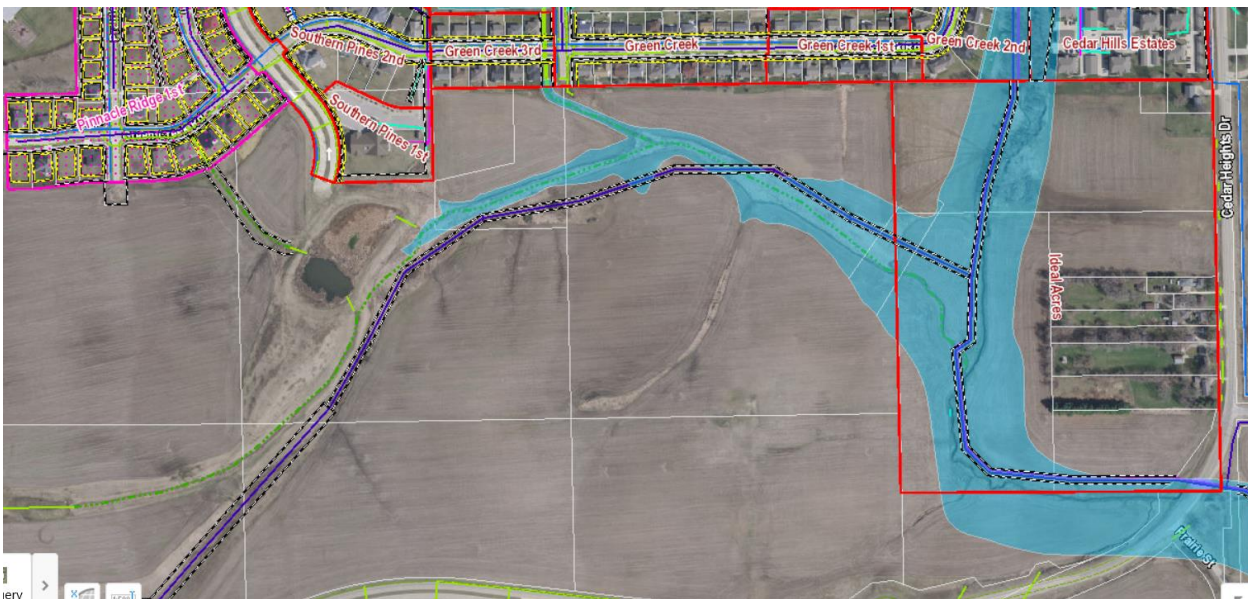
The City will soon be making improvements to Cedar Heights Drive and associated infrastructure. With that project, adjustments in the right-of-way will be made at the intersection of Huntington Road to allow for a future roundabout, which would allow the street to be extended to the west to serve the commercial area and any additional development proposed in the future to the existing lots that were created behind the homes in the Ideal Acres subdivision along Cedar Heights Drive. While currently these lots are owned and used as extended yard areas for these homes, there would be the potential for additional homes to be developed if a means of access is provided. There are a number of possible scenarios for providing access. Extending a street north from an extended Huntington Road is one possibility. When this area is platted, this issue will need to be studied more fully to determine how best to provide access to this undeveloped land whether it is from an extended Huntington Road or from the east-west street connection in the multi-family area to the north or from both.

Access to Public Services and Stormwater Management

Water, electric, gas, and communications utility services are available to the proposed future developments in accordance with the service policies of Cedar Falls Utilities (CFU). During preliminary plats, final plats and site plan reviews, more detail on the sizing of lines, location, and other aspects will be reviewed.

As shown below, sanitary sewer lines extend east-west across the area coinciding with the natural drainage pattern of the area, so are readily available for extension to serve the neighborhood. There is also a north-south sanitary line that runs along Green Creek that serves the eastern portion of the development. On the master plan you will note that these sanitary lines are located along the proposed alignment of Prairie View Road until it reaches the larger neighborhood open space area, which coincides with the natural drainage pattern and the Green Creek riparian corridor.

A regional stormwater management system is proposed that follows the drainage pattern one can see on the aerial photograph below. Note also that the floodplain for Green Creek is extensive. While the floodplain is generally shown as green space on the proposed concept plan, there are lots along the south side of Street A and along the north side of a portion of Prairie View Road that are partially or wholly within the floodplain. The City's floodplain regulations and subdivision rules will not allow development in these areas, except that up to 25% of a residential lot may be located in the floodplain as long as the buildable area on the lot is not within the floodplain. While the applicant has not amended the concept plan to address this issue, they have included a note on the concept plan that adjustments to the block and lot layout may be necessary to ensure that new homes are not located within the floodplain. While it would be best to consider this issue early in the planning stage, the issue will have to be resolved prior to platting. With regard to the multi-family area east of Green Creek, the plan does a better job of respecting the floodplain boundary with no building encroachment into these areas.



Open Space, Parks, and Trails

The MU District requires 10% of the land area to remain as open space. The concept presented includes a refined representation of the open space that coincides with the floodplain for Green Creek and the proposed regional stormwater management area. Trails extend along Street J from the Pinnacle Prairie area to the west and follow Prairie Parkway into the greenway connecting the 3.5 acre park to the larger area to the west and across the creek to the east. The concept plan shows a well-connected trail network.

It should also be noted that the April, 2015 staff report to City Council states:

Per the original concept plan site data, 2% must remain specifically as park space. Based on the Commission's favorable discussion March 3rd (2015), 2.6 acres of trail are part of that park amount. The Developmental Procedures Agreement addresses that. Note: Any trails along the road within that area calculation are counted at half the area, since a 5' sidewalk is required. There could be changes in the future that would require adjustment to the Master Plan in order to meet the 2% requirement.

Any revised developmental procedures agreement should continue to include an updated parks and trails calculation based on the larger area included with this rezoning.

Technical Comments:

1. A preliminary and final plat will be required prior to any land sales within the master planned area. Platting is helpful in determining the lots and development areas that will benefit from the streets, regional stormwater management system, open space amenities, park areas, and trails, so that that cost of constructing and maintaining these facilities can be addressed through the sale of the lots and establishment of homeowner’s associations with appropriate fee structures. It is not in the best interest of either the owner or the City to plat this area in a piecemeal fashion since so much of the infrastructure is shared. The platting process will help the owner determine how these benefits and costs should be shared, so they can be assured that their investment will be appropriately recaptured as lots are sold. The sale of land to Immanuel Lutheran Church prior to platting is a case in point. The church had difficulty developing the land they acquired from Oster through a plat of survey and experienced considerable delay in preparing plat documents and obtaining off-site easements to address stormwater management since the larger area has not been platted and the regional stormwater system has not been established.

2. A new or amended developmental procedures agreement will need to be drafted and signed prior to setting a public hearing at City Council for the rezoning.

PUBLIC NOTICE

Notice of the public hearing was mailed to the adjoining property owners and published in the Waterloo-Cedar Falls Courier.

STAFF RECOMMENDATION

The Community Development Department recommends approval of RZ21-001, a request to rezone property from A-1, Agricultural District, and R-1, Residential Zoning District, to MU, Mixed Use Residential Zoning District, and to update the Pinnacle Prairie Master Plan accordingly, subject to a new or amended development agreement that addresses the specific issues outlined in the staff report with regard to platting, connected street pattern, parks, trails, and open space, building forms and placement, stormwater management, and alternative street alignments and lot configurations, if necessary due to floodplain issues.

PLANNING & ZONING COMMISSION

Discussion 3/24/2021	The next item for consideration by the Commission was a request to rezone the area 500 feet north of Huntington Road along the west side of Cedar Heights drive from A-1 and R-1 to MU and update the Pinnacle Prairie Master plan. Chair Leeper introduced the item and Ms. Howard provided background information. She noted that this was a new application for a rezoning, but a similar request was considered last year by the Commission and was denied. She explained the current uses and how they would change if rezoned and noted that the applicant would like to incorporate this area into the larger Pinnacle Prairie Master Plan. The item was reviewed in the fall and part of the review included looking at the future land use map in this location and updating that as well. She noted that the Commission had recommended approval of the change to the Future Land Use Map at that time. She
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noted the applicant would like to refine the master plan for Pinnacle Prairie East. Ms. Howard displayed the 2015 Master Plan and discussed the potential update. She discussed the previous proposal in 2020 that was denied due to a lack of an east-west street connection to Cedar Heights Drive. With this new master plan proposal they show a new street layout that includes extension of Prairie View Road to Cedar Heights Drive at its intersection with Huntington Road. They would propose to continue to use their same design standards as apply currently in the Pinnacle Prairie development, which establishes prairie-style aesthetic. Ms. Howard explained that there will be focus on alley loaded types of townhomes and the neighborhood commercial area will have street access and trail connections to ensure residents have easy access. She elaborated on the Prairie View Drive extension to connect with Cedar Heights Drive and noted that there are still some outstanding questions about the viability of the commercial area shown on the master plan due to floodplain issues. If it is determined that the commercial area is not feasible, the applicant has agreed to shift the east-west extension of Prairie View Road to the north to extend along the southern boundary of the multi-family area that is the subject of this rezoning. Howard noted that if this were to occur, then the concept plan shown for the multi-family area will need to be modified to accommodate the street right-of-way.

Ms. Howard displayed a view of the area proposed for rezoning, noting that it will contain primarily multi-family development with approximately 12 units per acre with buildings oriented toward the street and good access to open space amenities and trails. The street network and traffic circulation will provide good public access to the trail network and a park, the streets will be laid out in an attractive yet connected curvilinear pattern, and the open space is well distributed. She explained some of the potential adjustments with regard to the east-west connection. The location has access to public services and Ms. Howard noted that adjustments to the open space, parks and trails will be addressed in the development agreement. With regard to technical comments she explained that a preliminary and final plat will be required prior to any land sales within the master plan area. Although the issues in the previous developmental procedures agreement have now been resolved, a new agreement will need to be drafted and signed prior to setting a public hearing at City Council for the requested rezoning. Staff recommends initial discussion at this time and setting public hearing for April 4.

LeaAnn asked why we don't know if commercial will be allowed in that spot. Ms. Howard explained that the floodplain maps are currently under review for changes so it will depend on when the plan is submitted and whether they can comply with the new flood insurance rate maps, likely to be finalized by FEMA next spring.

Eric Johnson, Beecher Law Firm, asked if Carrie Hansen had joined the meeting online. Staff stated that she was not. He explained that he is available for any questions with regard to the project.

Since there were no questions, Mr. Larson made a motion to set the public hearing for April 14, 2021. Ms. Sears seconded the motion. The motion was approved unanimously with 8 ayes (Holst, Larson, Leeper, Lynch, Prideaux, Saul, Schrad and Sears), and 0 nays.

Attachments: Rezoning Plat
2015 Pinnacle Prairie Master Plan
Proposed updated master plan and concept plan for "Pinnacle Prairie East"
Updated Design Guidelines for Pinnacle Prairie
Applicant's letter requesting rezoning

Rezoning Plat

Part of Ideal Acres

City of Cedar Falls, Black Hawk County, Iowa

NORTH



R-1 to MU Rezoning Description:

The West 110 feet of Lot 1; Lots 2, 3, and 4 except that part deeded to the City of Cedar Falls, Iowa in 565 CLD 326 for street purposes, all in "Ideal Acres" in Black Hawk County, Iowa (now in the City of Cedar Falls, Iowa)

A-1 to MU Rezoning Description:

The North 528 feet of Lot 13, all in "Ideal Acres" in Black Hawk County, Iowa (now in the City of Cedar Falls, Iowa)

Owner / Applicant
Oster Family Limited Partnership
3957 75th Street
Aurora, IL 6050

Owners within 300'
See Page 2

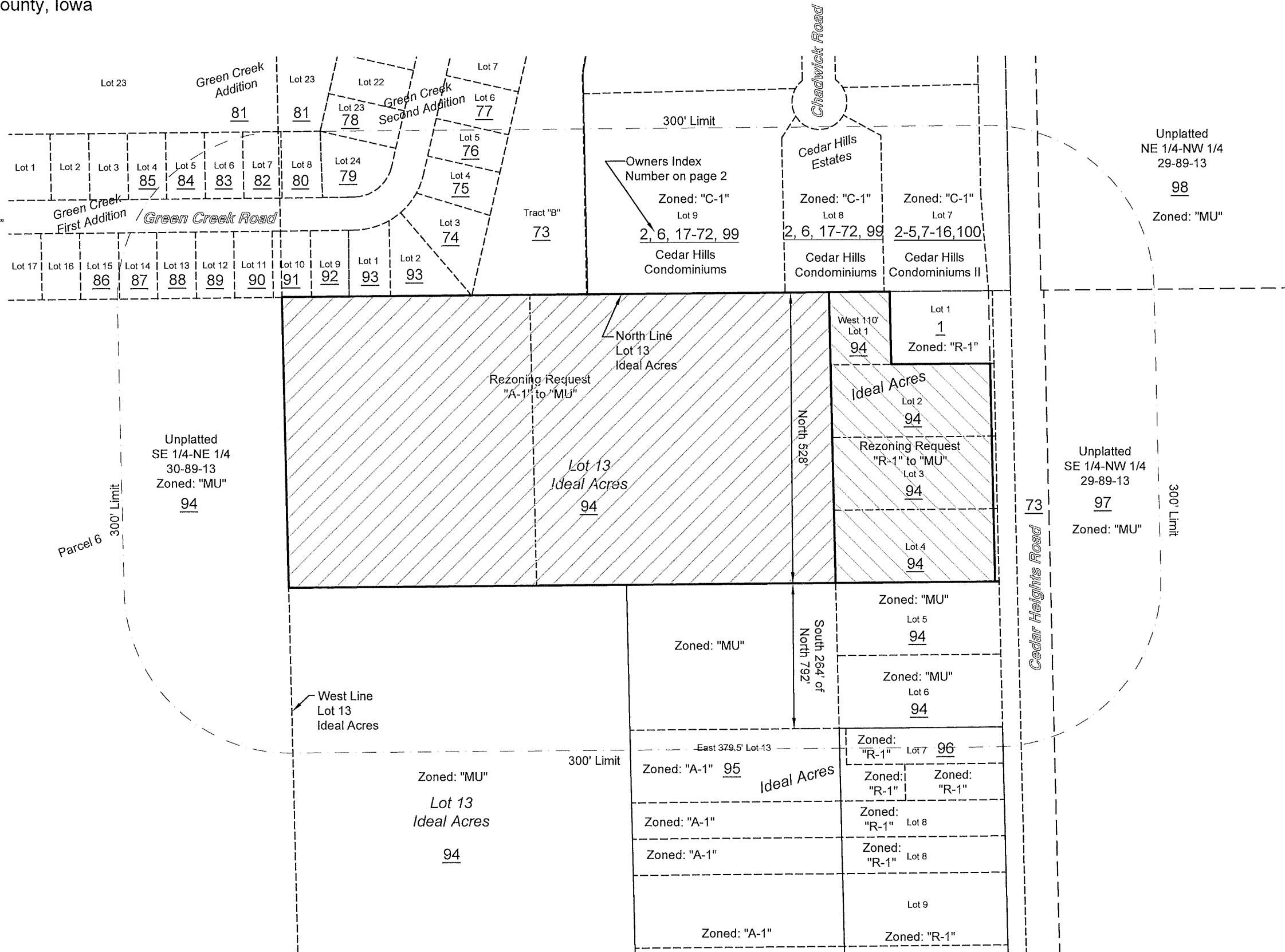
Existing Zoning Classification:
"A-1" and "R-1"

Proposed Zoning Classification:
"MU"

Proposed "R-1" to "MU" Area: 3.0± acres

Proposed "A-1" to "MU" Area: 12.0± acres

Existing Adjacent Zoning:
Green Creek First Addition: "MU"
Green Creek Second Addition: "MU"
Cedar Hills Estates: "C-1"
Ideal Acres: "A-1", "R-1", and "MU"

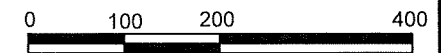


Item 4.
REVISIONS

page #	1/2
scale	1"=200'
drawn by	SJL
date	2/23/21

VJ Engineering
1501 Technology Parkway
Cedar Falls, Iowa - 319-266-5829

Rezoning Plat
Part of Ideal Acres
Cedar Falls, Iowa



Rezoning Plat
Owners within 300 Feet
Part of Ideal Acres
Cedar Falls, Iowa

1. Wayne P & Janet M O Neil
4803 Cedar Heights Drive
Cedar Falls, IA 50613
2. PLACE LLC
c/o R Scheer & T Greenwood
1102 Lake Ridge Drive
Cedar Falls, IA 50613
3. Austin Rindels
4701 Chadwick Road #3
Cedar Falls, IA 50613
4. Nermina Sabanagic
4701 Chadwick Road #4
Cedar Falls, IA 50613
5. Jeffrey S & Ada O Bendorf
825 Sonya Drive
Waterloo, IA 50702
6. IA Home Rentals LLC
PO Box 1231
Cedar Falls, IA 50613
7. Nichole L Koelling
4701 Chadwick Road #8
Cedar Falls, IA 50613
8. Ada Oyaide
7077 Meadow Lane
Platteville, WI 53818
9. Steven R Harbaugh
1433 South Hill Drive
Waterloo, IA 50701
10. Nafka Dautovic
4705 Chadwick Road #1
Cedar Falls, IA 50613
11. Thomas K Rohrssen
4705 Chadwick Road #2
Cedar Falls, IA 50613
12. Willard F & Verla M Wedemeier
4705 Chadwick Road #3
Cedar Falls, IA 50613
13. Daniel L Weber, Jr
4705 Chadwick Road #6
Cedar Falls, IA 50613
14. Justin J Holthaus
524 Boulder Drive
Center Point, IA 52213
15. Caralee K Doak
4705 Chadwick Road #11
Cedar Falls, IA 50613
16. Shashidhar & Rakhee Kaparthi
432 Primrose Drive
Hudson, IA 50643

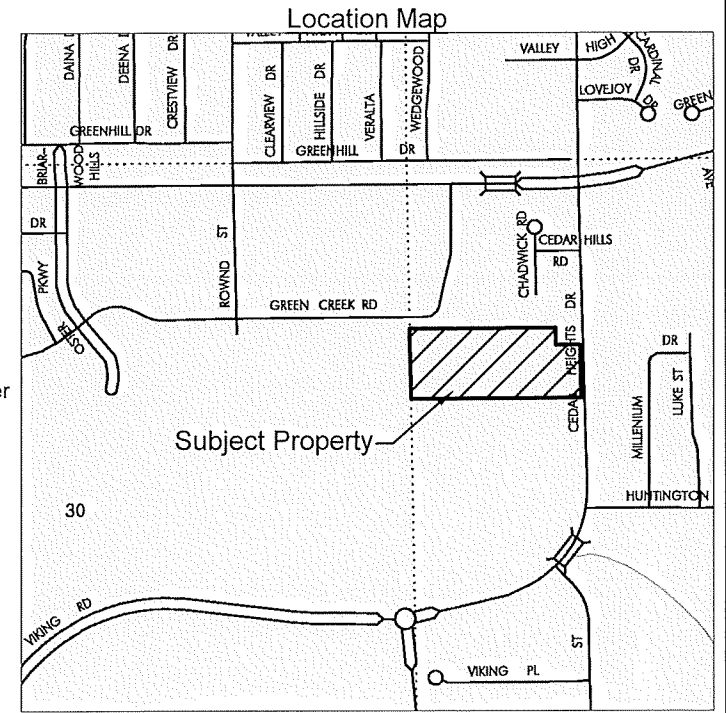
17. Kay Kiene
4702 Chadwick Road #1
Cedar Falls, IA 50613
18. Carol L & Jeffry S Dick
4614 Donald Drive
Cedar Falls, IA 50613
19. Nancy L Thorne
4702 Chadwick Road #3
Cedar Falls, IA 50613
20. Megan A Wellik
4702 Chadwick Road #5
Cedar Falls, IA 50613
21. Joshua Budden
4702 Chadwick Road #6
Cedar Falls, IA 50613
22. Tamara Hastings
4702 Chadwick Road #7
Cedar Falls, IA 50613
23. Darren Haley
4702 Chadwick Road #8
Cedar Falls, IA 50613
24. Beverly A Weiss
4702 Chadwick Road #9
Cedar Falls, IA 50613
25. Susan M Moore
4702 Chadwick Road #10
Cedar Falls, IA 50613
26. Brett T Borcharding
4702 Chadwick Road #11
Cedar Falls, IA 50613
27. Stephen Lee & Courtney A Styron
104 Garner Drive
Waverly, IA 50677
28. Deborah A Fedge
Jonathan K Schoer
4305 Callum Ct
Cedar Falls, IA 50613
29. Richard A Riker
4706 Chadwick Road #2
Cedar Falls, IA 50613
30. Stephen Jordan
4706 Chadwick Road #3
Cedar Falls, IA 50613
31. Brian D Francois
1022 210th Street
Masonville, IA 50654
32. Brittney McNamara
4706 Chadwick Road #6
Cedar Falls, IA 50613

33. James A Janka
Kathleen A Janka
4706 Chadwick Road #7
Cedar Falls, IA 50613
34. Samuel J Hartmann
4706 Chadwick Road #8
Cedar Falls, IA 50613
35. Megan M Schriver
4706 Chadwick Road #9
Cedar Falls, IA 50613
36. Lauryn B & Michelle B Tweed
4706 Chadwick Road #10
Cedar Falls, IA 50613
37. Natalie Teslow
4706 Chadwick Road #11
Cedar Falls, IA 50613
38. Timothy J Jensen
4706 Chadwick Road #12
Cedar Falls, IA 50613
39. Rickard & Kristen M Sevy
4710 Chadwick Road #1
Cedar Falls, IA 50613
40. Gary W & Brenda L Geuther
4710 Chadwick Road #2
Cedar Falls, IA 50613
41. Jean M Draude
4710 Chadwick Road #3
Cedar Falls, IA 50613
42. Jay Meier
4710 Chadwick Road #4
Cedar Falls, IA 50613
43. Margaret A Miller
4710 Chadwick Road #5
Cedar Falls, IA 50613
44. Walter L Sykes
4710 Chadwick Road #6
Cedar Falls, IA 50613
45. Samantha M Frost
4710 Chadwick Road #7
Cedar Falls, IA 50613
46. Anna L Staudinger
4710 Chadwick Road #9
Cedar Falls, IA 50613
47. Svetozar Bijelic
Ela Cepalovic
4710 Chadwick Road #10
Cedar Falls, IA 50613
48. Madeline A Chilton
Kellee A Chilton
4710 Chadwick Road #11
Cedar Falls, IA 50613

49. Martha Rose Claassen
4710 Chadwick Road #12
Cedar Falls, IA 50613
50. Rachael Soll
4708 Chadwick Road #1
Cedar Falls, IA 50613
51. Kathryn J Balvanz
Lisa A Balvanz
4708 Chadwick Road #2
Cedar Falls, IA 50613
52. Megan A Potratz
4708 Chadwick Road #3
Cedar Falls, IA 50613
53. Ronald J & Pamela J Sevey
4708 Chadwick Road #4
Cedar Falls, IA 50613
54. Kevin J Huegel
4708 Chadwick Road #5
Cedar Falls, IA 50613
55. Darlene Hansen Trust
c/o Rose M Anderson
4801 Briarwood Drive
Cedar Falls, IA 50613
56. Keith J Bader
5500 S Main Street Rd #76
Cedar Falls, IA 50613
57. Tara Thesing
4708 Chadwick Road #8
Cedar Falls, IA 50613
58. Bradley D Dedic
4708 Chadwick Road #9
Cedar Falls, IA 50613
59. Stacey A Hurt
4708 Chadwick Road #10
Cedar Falls, IA 50613
60. Adrianna N Murphy
4708 Chadwick Road #11
Cedar Falls, IA 50613
61. Tyler B McDowell
4708 Chadwick Road #12
Cedar Falls, IA 50613
62. Christine Dawn Werling
4712 Chadwick Road #1
Cedar Falls, IA 50613
63. Nancy L Duffy
4712 Chadwick Road #3
Cedar Falls, IA 50613
64. William J Adam Rev Trust
Cheryl L Adam Rev Trust
1028 W Main Street
Waukon, IA 52172

65. Bonnie L Popenhagen
4712 Chadwick Road #5
Cedar Falls, IA 50613
66. Ambri J Refer
4712 Chadwick Road #6
Cedar Falls, IA 50613
67. Joshua P Miller
4712 Chadwick Road #7
Cedar Falls, IA 50613
68. Mary Losch
Bruce Alexander
4712 Chadwick Road #8
Cedar Falls, IA 50613
69. Sarah Frederick
4712 Chadwick Road #9
Cedar Falls, IA 50613
70. Kerri Menninga
4712 Chadwick Road #10
Cedar Falls, IA 50613
71. Brian W Jansen
4712 Chadwick Road #11
Cedar Falls, IA 50613
72. David & Julie Bonde
21643 115th Street
Iowa Falls, IA 50126-0000
73. City of Cedar Falls
220 Clay Street
Cedar Falls, IA 50613
74. George & Elizabeth Drelich
2525 Green Creek Road
Cedar Falls, IA 50613
75. Cody M & Stacy M Cline
2529 Green Creek Road
Cedar Falls, IA 50613
76. Mae & James Lillibridge, Jr
2601 Green Creek Road
Cedar Falls, IA 50613
77. Kevin J & Jessica M Vogel
2607 Green Creek Road
Cedar Falls, IA 50613
78. Roy A & Janice M Dawson
2602 Green Creek Road
Cedar Falls, IA 50613
79. Levi R & Leslie R Frost
2510 Green Creek Road
Cedar Falls, IA 50613
80. Vickie Turner
2504 Green Creek Road
Cedar Falls, IA 50613

81. Eastern Iowa Lutheran HS Association
4520 Rownd Street
Cedar Falls, IA 50613
82. Thomas E & Jennifer L Michler
2426 Green Creek Road
Cedar Falls, IA 50613
83. Scott N & Angela L Millman
2420 Green Creek Road
Cedar Falls, IA 50613
84. William K & Audrey C Rule
2416 Green Creek Road
Cedar Falls, IA 50613
85. Michael G & Cindy M Koehn
2408 Green Creek Road
Cedar Falls, IA 50613
86. Evan M & Raven L Deuth
2401 Green Creek Road
Cedar Falls, IA 50613
87. Mason A & Lori L Kuhn
2407 Green Creek Road
Cedar Falls, IA 50613
88. Anita Wiebke
2415 Green Creek Road
Cedar Falls, IA 50613
89. Adam M & Tami J Halvorson
2419 Green Creek Road
Cedar Falls, IA 50613
90. Zachary M & Kristen K Lyons
2425 Green Creek Road
Cedar Falls, IA 50613
91. Francisca Figueroa Lucero
Juan F Arreola Arras
2503 Green Creek Road
Cedar Falls, IA 50613
92. Kyle R & Katie E Corson
2507 Green Creek Road
Cedar Falls, IA 50613
93. Daniel D Fencil Trust
422 Main Street
Cedar Falls, IA 50613
94. Oster Family Limited Partnership
Attn: Jessica Sul
3957 75th Street
Aurora, IL 60504-7914



95. Lyle L Bergman
1624 Maplewood Drive
Cedar Falls, IA 50613-000
96. Kenneth R & Alice Lynn White
5011 Cedar Heights Drive
Cedar Falls, IA 50613
97. R and N Investments
PO Box 728
Cedar Falls, IA 50613
98. Ronald J Abraham
401 N Highland Drive
Cedar Falls, IA 50613
99. Michael A Yaddof
4706 Chadwick Road #5
Cedar Falls, IA 50613
100. Anthony C Meade, Jr
9218 Greenbelt Dr
Urbandale, IA 50322

Item 4.	REVISIONS
page #	2/2
scale	1"=200'
drawn by	SJL
date	2/23/21
VJ Engineering 1501 Technology Parkway Cedar Falls, Iowa - 319-266-5829	
Rezoning Plat Part of Ideal Acres Cedar Falls, Iowa	
2080	21



Schoppe Design Associates, Inc.
LAND PLANNING & LANDSCAPE ARCHITECTURE

March 8, 2021

Department of Community Development
City of Cedar Falls
220 Clay Street
Cedar Falls, Iowa 50613

Re: Cedar Heights Drive Property Rezoning Request (2)

CEDAR HEIGHTS DRIVE PROPERTY
Explanation of Request

The initial MU rezoning justification submitted for the subject petition was included with the original application packet on June 12, 2020. The reasons noted in the Cedar Heights Drive Property – Explanation of Request letter dated June 12, 2020 remain valid and as such are again submitted and attached to this updated rezoning justification for reference. A number of events and changes to the petition have transpired since the original request was filed and are explained below.

The Planning and Zoning Commission first heard the land use map amendment and rezoning request on September 9, 2020. While the proposed land uses were generally well received by both staff and Commissioners, there was significant discussion regarding the lack of an east-west connection to Cedar Heights Drive. It was the petitioner's position that the proposed access points were adequate to facilitate effective traffic operations, and further that vehicular crossings of the floodplain and open space corridors should be limited due to environmental impacts. A number of residents also spoke at the meeting, and it was ultimately decided to continue the case to the Commission's next meeting to explore solutions to noted comments and so that the petitioner could meet with the adjacent residents to further discuss the project and answer any questions.

The resident meeting was held via Zoom on October 1, 2020 and nine residents participated. The proposal was clarified and numerous questions were answered. The meeting went very well and the resident response to the project was generally positive.

In response to the comments made by staff and Commissioners at the September 9, 2020 meeting, several revisions were made to the request and resubmitted for consideration at the October 14, 2020 Planning and Zoning Commission meeting:

- Pinnacle Prairie East Concept Plan:
 - Nose-in parking was removed in the revised townhome pod.
 - The trail was relocated immediately adjacent to the proposed commercial pod at Huntington and Cedar Heights.
 - A note was added to the plan regarding potential floodplain adjustments.

126 S. Main Street
Oswego, IL 60543
p: 630 551-3355
f: 630 551-3639
schoppedesig



Schoppe Design Associates, Inc.
LAND PLANNING & LANDSCAPE ARCHITECTURE

- Pinnacle Prairie Master Plan:
 - The updated Pinnacle Prairie East Concept Plan was dropped into the overall Master Plan.
 - Site data was updated to reflect new land use acreages.

Both staff and the Commission concurred that the map amendment for the 15-acre parcel be changed to Planned Development to allow for the combination of multi-family and single-family uses as part of the overall Pinnacle Prairie development, and the Commission voted 8-0 in favor of this portion of the request.

The revised plans did not, however, include an east-west roadway connection to Cedar Heights Drive. There was discussion amongst the Commissioners that the crossing might make sense at Huntington given the proposed roundabout improvement and proximity to the commercial pod. However, without a commitment from the petitioner to provide this connection, the rezoning request ultimately failed by a vote of 4-4.

Rather than proceed to the City Council with a negative recommendation from the Planning and Zoning Commission, the petitioner continued negotiations with staff to come to resolution on the outstanding roadway connection issue. A number of options were explored, ultimately culminating in the now revised and proposed plan that incorporates an east-west roadway crossing of the creek at Huntington. The addition of this crossing resulted in a slight redesign of the single-family pod to the west. Additionally, given the unknown impact of the floodplain on the viability of the proposed commercial pod at this location, a note has been added to the plan that if in the future it is determined that the commercial pod is undevelopable, the east-west connection road would be relocated to the southern edge of the multi-family pod to the north.

In addition to the plan changes, the petitioner's obligations for the improvements at Goldenrod and the Prairie Parkway roundabout previously noted in staff's report have been satisfactorily addressed.

It is the petitioner's position that we have successfully resolved the outstanding issues and concerns noted to date and respectfully request approval of the petition for rezoning to MU.

Thank you for your consideration.

Sincerely,

Carrie L. Hansen
Director of Planning and Government Services

CLH:



Schoppe Design Associates, Inc.
LAND PLANNING & LANDSCAPE ARCHITECTURE

June 12, 2020

Department of Community Development
City of Cedar Falls
220 Clay Street
Cedar Falls, Iowa 50613

Re: Cedar Heights Drive Property Rezoning Request

To Whom It May Concern:

Per the City's rezoning application requirements, below please find a brief explanation of the proposal.

Cedar Heights Drive Property
Explanation of Request

The petitioner is requesting a rezoning of the subject property to MU, Mixed Use Residential for future development of both multi-family and single-family residential uses. The two residential use areas would be separated by an existing wide drainage corridor with proposed multi-family units to the east and single-family lots to the west. While there are no specific development plans at this time, the rezoning is being requested to assist with marketing to interested buyers/builders who would still be required to come back to the City for formal plan approval for ultimate product and design.

It is the petitioner's intent to add the 15-acre property to the Pinnacle Prairie project, immediately adjacent to the west and south. Doing so will result in the application of and adherence to the same high-quality development design standards of the Pinnacle Prairie development and add an additional mix of residential uses to the overall project. The City's MU District "strives to encourage innovative development that incorporates high-quality building design, careful site planning, preservation of unique environmental features with an emphasis upon the creation of open spaces and amenities that enhance the quality of life of residents." The accompanying Rezoning Concept Plan focuses on this goal and represents an idea of how the newly added MU property could be integrated into the Pinnacle Prairie project.

126 S. Main Street
Oswego, IL 60543
p: 630 551-3355
f: 630 551-3639
schoppedes



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The proposed multi-family use on the eastern portion of the property is a compatible extension of the existing medium density residential land use immediately adjacent to the property on the north. The physical barrier of the drainage corridor to the west orients the subject property more to the east, and as such the design contemplates a grand entry from Cedar Heights Drive. The conceptual design depicts 180 total units in 6, 24-unit and 2, 18-unit three story buildings. The design incorporates an open space theme immediately upon entering the development and continues with both a visual and physical extension of this amenity throughout the site. There is a main open space corridor in the middle of the project that serves not only as a gathering space for the residents but also visually connects the project entrance to the open space and drainage corridor to the west. The space can include a variety of complementary elements such as trails, benches, and a gazebo. In addition to the more centralized open space, each individual building has access to its own open space/courtyard area on a more intimate scale. There is an interconnected system of walking paths which all lead either to the central open space corridor within the project or to a future more regional trail within the adjacent open space and drainage corridor, connecting to the Pinnacle Prairie project and trail system. The site plan also includes a dog park, a desired amenity for multi-family projects of this type.

The proposed single-family use is located west of the drainage area and as such orients westward in terms of compatible land use. This use is accordingly derived from the designated future single-family land use of the Pinnacle Prairie project adjacent to the west, and additionally from the existing single-family residences of the Green Creek Subdivision adjacent on the north. The Concept Plan illustrates how approximately 6 single-family lots could be created utilizing a cul-de-sac design.

The City's Comprehensive Plan designates the area contained in the MU rezoning request for a combination of Planned Development and Office/Business Park. The delineation between these two uses is in an unusual diagonal manner and leaves an oddly shaped triangle that would appear extremely challenging to develop. The limited and awkward size of the office/business park designated parcel and its lack of access to an arterial road do not seem conducive to development of the property for office/business park use. Given that the remainder of the property is designated as Planned Development and the proposal is to add the subject property to the Pinnacle Prairie project, also designated as Planned Development on the City's Comprehensive Plan, the requested rezoning to MU appears to be compatible with the goals of the Plan for this area. Additionally, the property located on the east side of Cedar Heights Drive across the street from the subject property is identified on the City's Plan as "Neighborhood Commercial/Mixed Use" and is entitled for a retail commercial center. Additional residential units in this area will increase the viability of the development of the site for neighborhood commercial use and provide retail and service businesses within walking distance of the proposed project.



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LAND PLANNING & LANDSCAPE ARCHITECTURE

Thank you for your consideration, and we respectfully request a favorable review of the request.

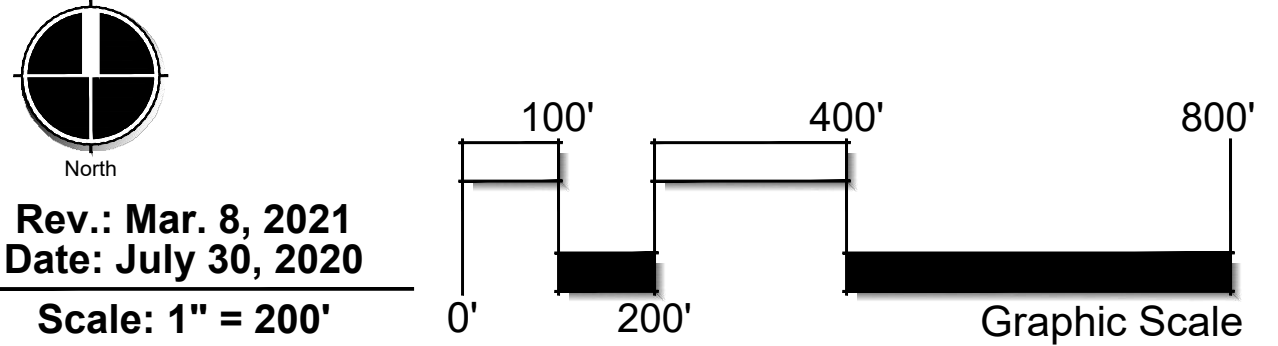
Sincerely,

Carrie L. Hansen
Director of Planning and Government Services

CLH:



NOTE:
STREETS AND LOT LAYOUTS MAY NEED TO BE ADJUSTED TO ENSURE THAT NEW HOMES ARE NOT LOCATED IN THE FLOODPLAIN



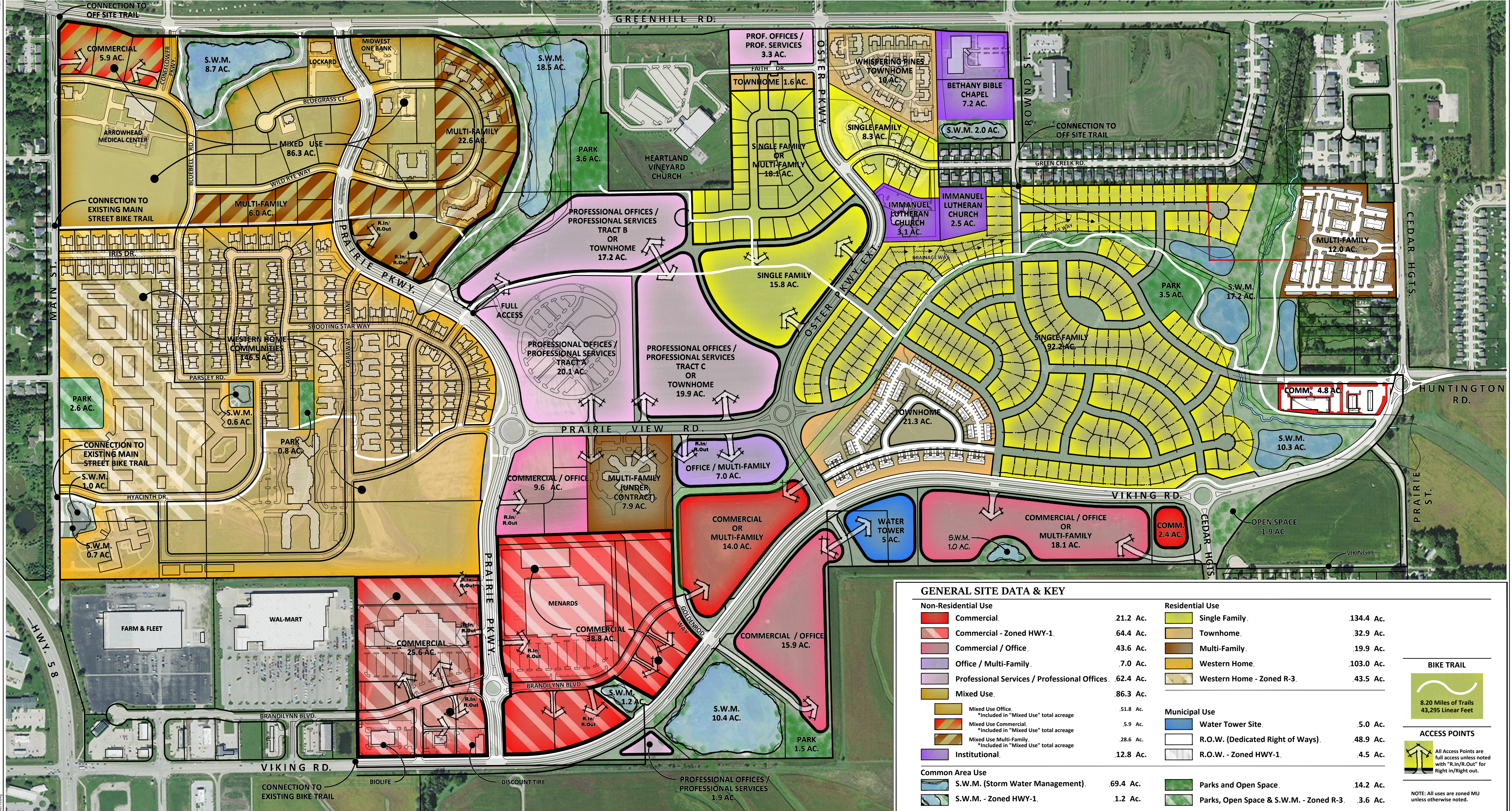
PINNACLE PRAIRIE EAST CONCEPT PLAN

LOCKARD
4501 Prairie Parkway, Cedar Falls, IA 50613
(319) 277-8000

Prepared For:
Oster Partners

Prepared By:
sda
Schoppe Design Associates, Inc.
LAND PLANNING & LANDSCAPE ARCHITECTURE

126 S. Main Street
Oswego, IL 60543
p: 630 551-3355
f: 630 551-3639
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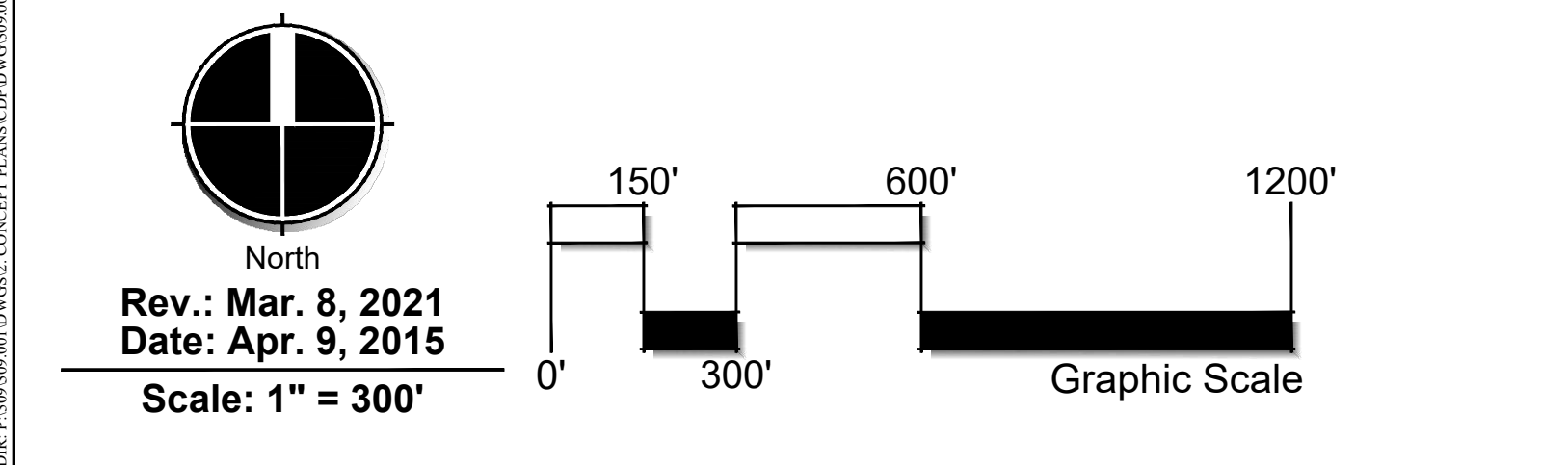
GENERAL SITE DATA & KEY

Non-Residential Use		Residential Use	
Commercial	21.2 Ac.	Single Family	134.4 Ac.
Commercial - Zoned HWY-1	64.4 Ac.	Townhome	32.9 Ac.
Commercial / Office	43.6 Ac.	Multi-Family	19.9 Ac.
Office / Multi-Family	7.0 Ac.	Western Home	103.0 Ac.
Professional Services / Professional Offices	62.4 Ac.	Western Home - Zoned R-3	43.5 Ac.
Mixed Use	86.3 Ac.		
Mixed Use Office *Included in "Mixed Use" total acreage	51.8 Ac.	Municipal Use	
Mixed Use Commercial *Included in "Mixed Use" total acreage	5.9 Ac.	Water Tower Site	5.0 Ac.
Mixed Use Multi-Family *Included in "Mixed Use" total acreage	28.6 Ac.	R.O.W. (Dedicated Right of Ways)	48.9 Ac.
Institutional	12.8 Ac.	R.O.W. - Zoned HWY-1	4.5 Ac.
Common Area Use			
S.W.M. (Storm Water Management)	69.4 Ac.	Parks and Open Space	14.2 Ac.
S.W.M. - Zoned HWY-1	1.2 Ac.	Parks, Open Space & S.W.M. - Zoned R-3	3.6 Ac.

BIKE TRAIL
8.20 Miles of Trails
43,295 Linear Feet

ACCESS POINTS
All Access Points are full access unless noted with "R.In/R.Out" for Right In/Right out.

NOTE: All uses are zoned MU unless otherwise noted.



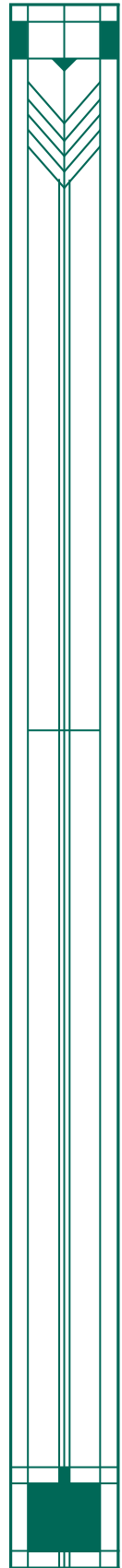
MASTER PLAN

LOCKARD
4501 Prairie Parkway, Cedar Falls, IA 50613
(319) 277-8000

Oster Partners

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PINNACLE PRAIRIE

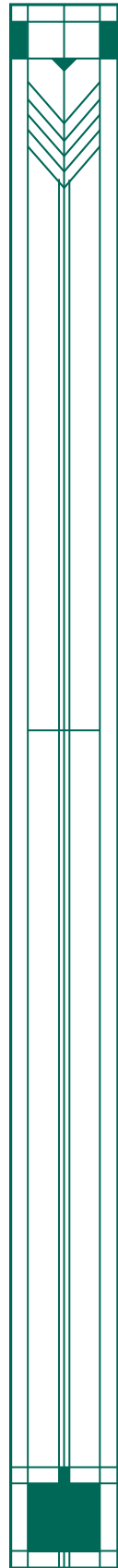
Cedar Falls, Iowa

General Design Guidelines

Date:
March 8, 2021



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THE VISION FOR PINNACLE PRAIRIE BEGAN AS THE DREAM of Merrill J. Oster, whose global financial information and agribusiness companies were launched from Main Street, Cedar Falls, Iowa, a street he frequented as a farm boy. A fifth-generation Oster, Merrill saw the opportunity to create a new type of community, one that drew on his heritage and love for Cedar Falls. He wanted to create a unified community that will be developed in harmony with the land and wildlife; to work with the landform, which contains the highest point in Blackhawk County; to create a unique community in which to live, work, shop, play and raise a family.

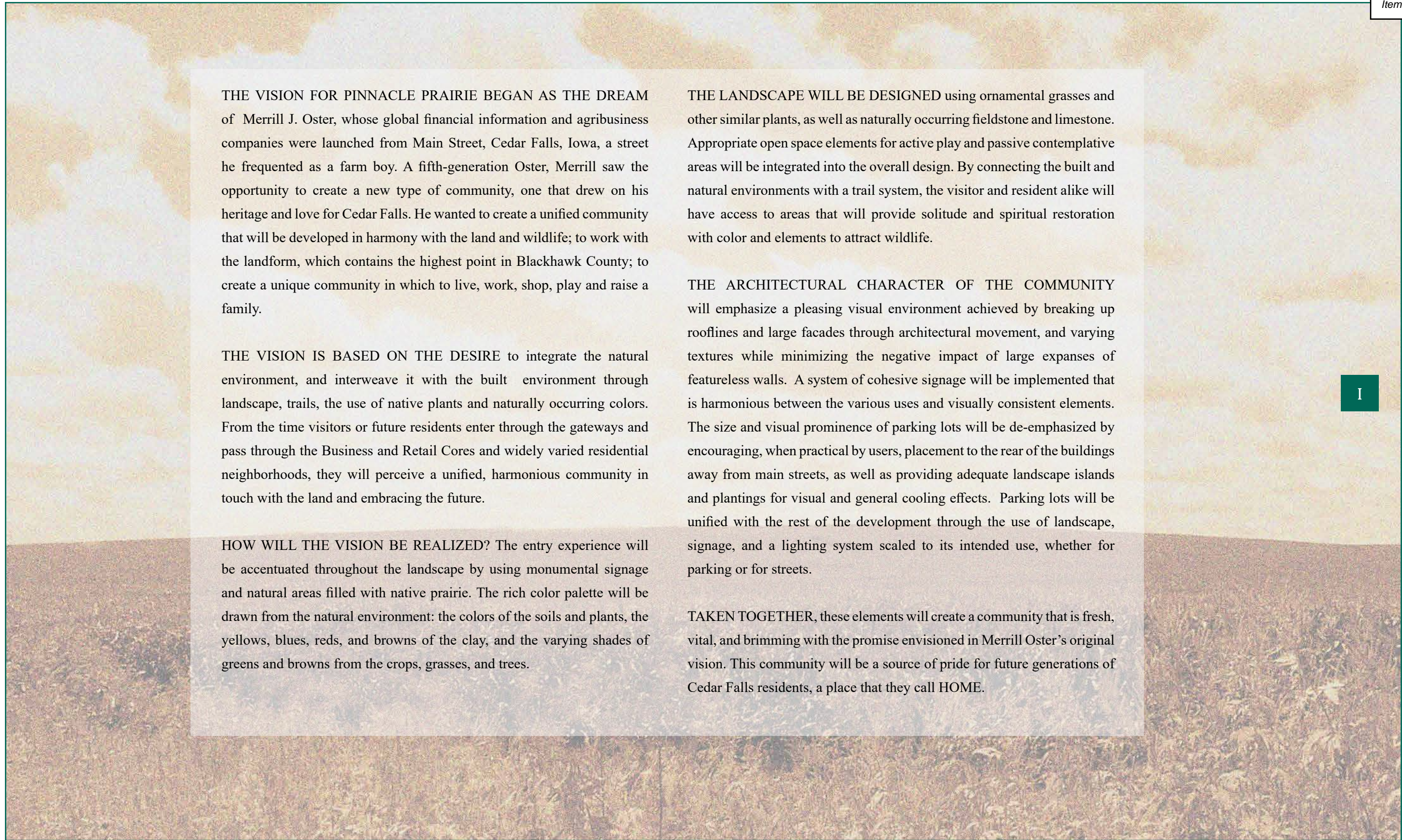
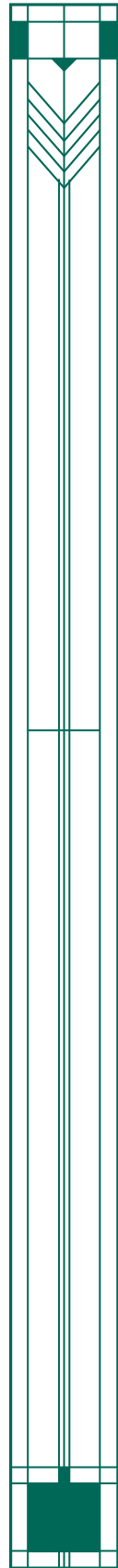
THE VISION IS BASED ON THE DESIRE to integrate the natural environment, and interweave it with the built environment through landscape, trails, the use of native plants and naturally occurring colors. From the time visitors or future residents enter through the gateways and pass through the Business and Retail Cores and widely varied residential neighborhoods, they will perceive a unified, harmonious community in touch with the land and embracing the future.

HOW WILL THE VISION BE REALIZED? The entry experience will be accentuated throughout the landscape by using monumental signage and natural areas filled with native prairie. The rich color palette will be drawn from the natural environment: the colors of the soils and plants, the yellows, blues, reds, and browns of the clay, and the varying shades of greens and browns from the crops, grasses, and trees.

THE LANDSCAPE WILL BE DESIGNED using ornamental grasses and other similar plants, as well as naturally occurring fieldstone and limestone. Appropriate open space elements for active play and passive contemplative areas will be integrated into the overall design. By connecting the built and natural environments with a trail system, the visitor and resident alike will have access to areas that will provide solitude and spiritual restoration with color and elements to attract wildlife.

THE ARCHITECTURAL CHARACTER OF THE COMMUNITY will emphasize a pleasing visual environment achieved by breaking up rooflines and large facades through architectural movement, and varying textures while minimizing the negative impact of large expanses of featureless walls. A system of cohesive signage will be implemented that is harmonious between the various uses and visually consistent elements. The size and visual prominence of parking lots will be de-emphasized by encouraging, when practical by users, placement to the rear of the buildings away from main streets, as well as providing adequate landscape islands and plantings for visual and general cooling effects. Parking lots will be unified with the rest of the development through the use of landscape, signage, and a lighting system scaled to its intended use, whether for parking or for streets.

TAKEN TOGETHER, these elements will create a community that is fresh, vital, and brimming with the promise envisioned in Merrill Oster's original vision. This community will be a source of pride for future generations of Cedar Falls residents, a place that they call HOME.



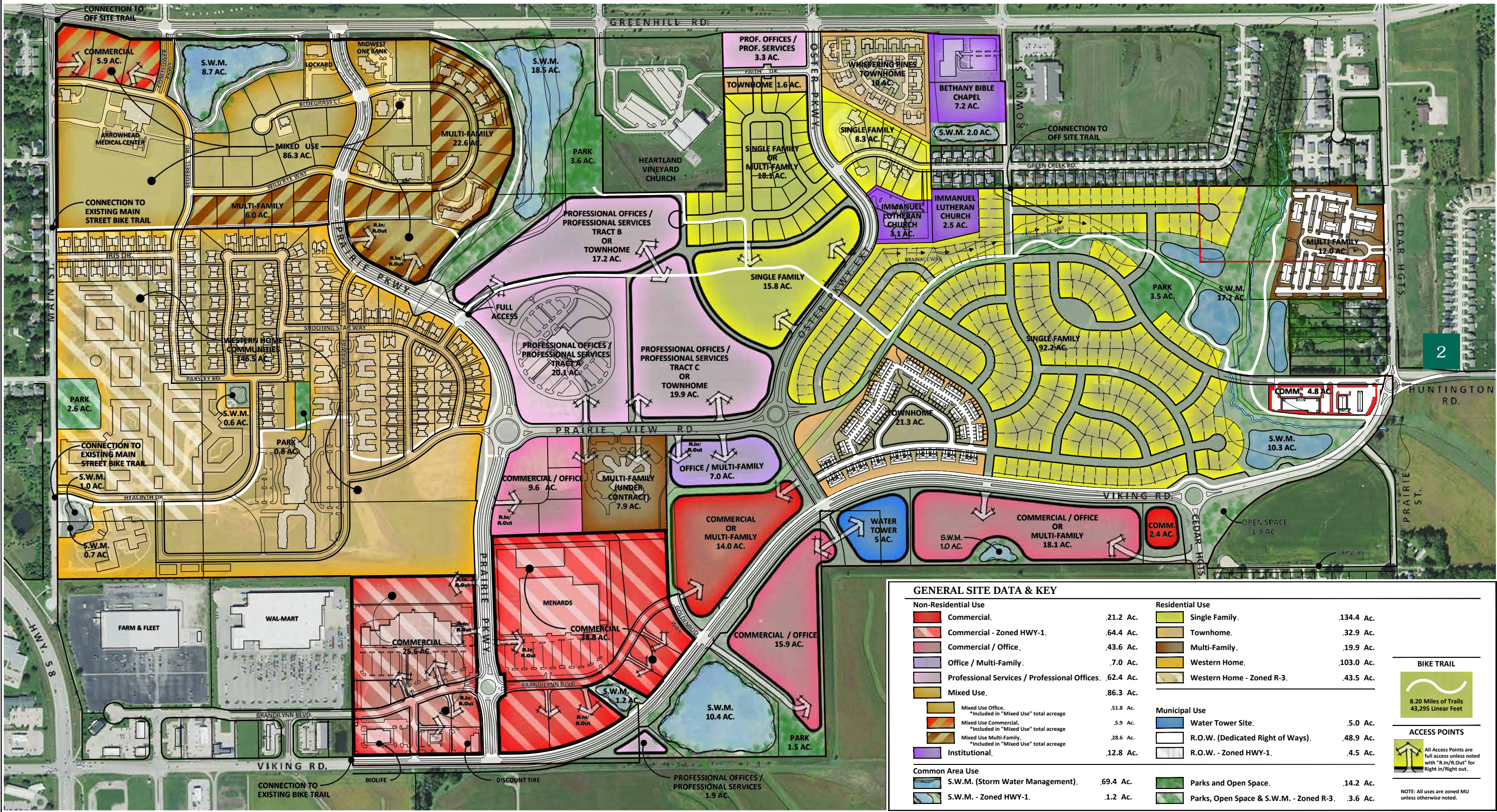
PINNACLE PRAIRIE

Cedar Falls, Iowa

The Vision

Date:
March 8, 2021





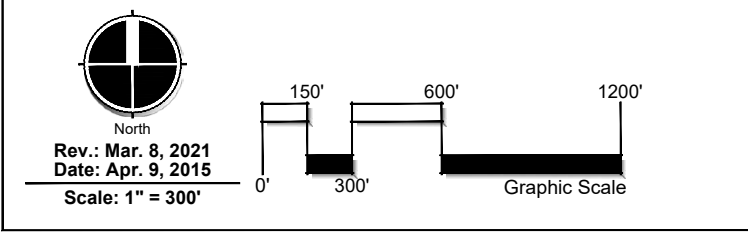
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Mixed Use Multi-Family, "Included in "Mixed Use" total acreage	.28.6 Ac.	R.O.W. (Dedicated Right of Ways)	.48.9 Ac.
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S.W.M. - Zoned HWY-1	.1.2 Ac.	Parks, Open Space & S.W.M. - Zoned R-3	.3.6 Ac.

BIKE TRAIL
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43,295 Linear Feet

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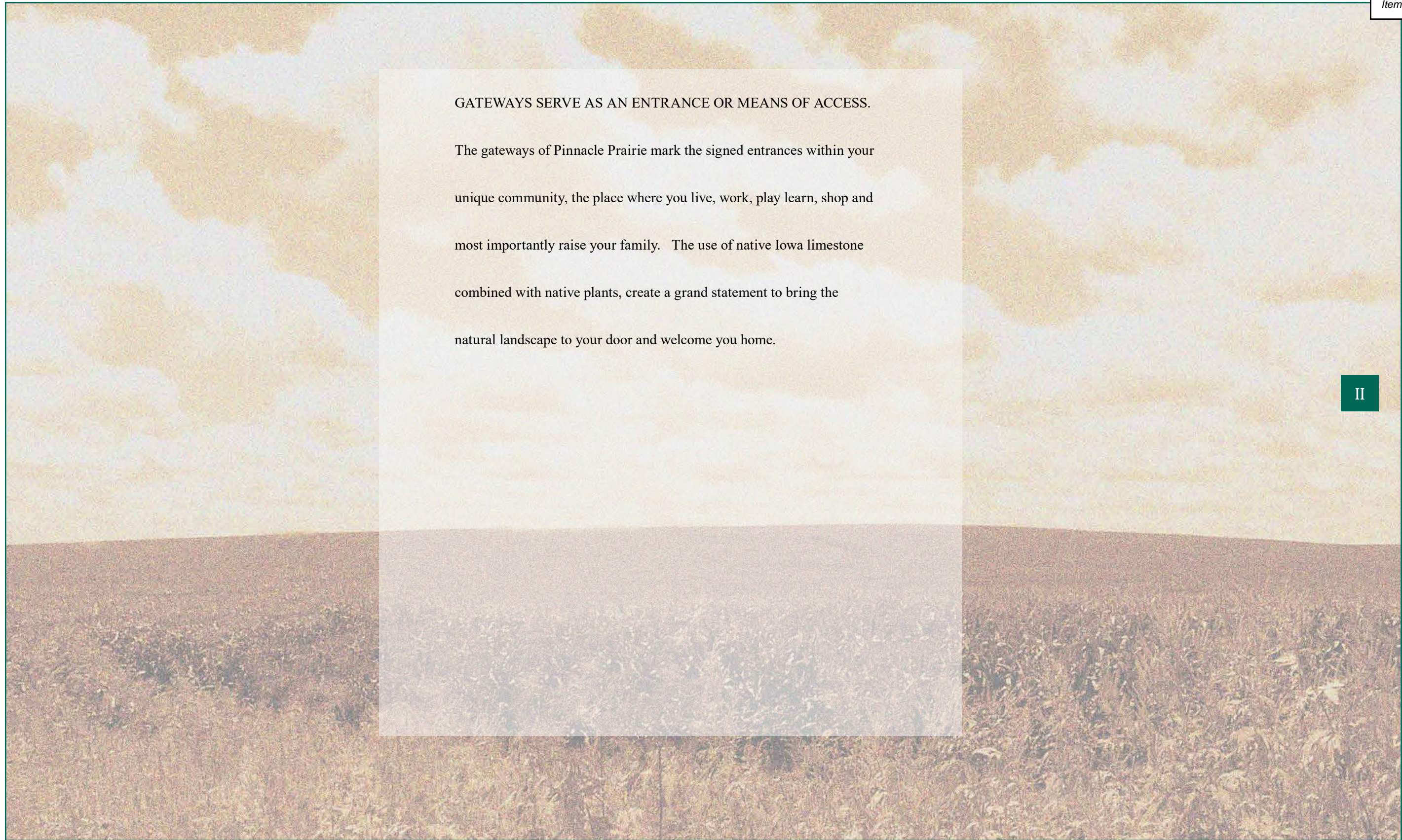
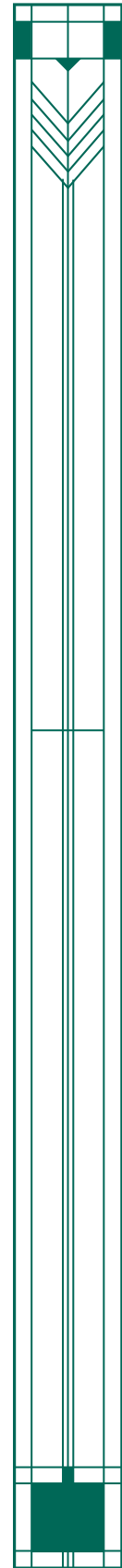
MASTER PLAN

LOCKARD
4501 Prairie Parkway, Cedar Falls, IA 50613
(319) 277-8000

Oster Partners

sda
Schoppe Design Associates, Inc.
LAND PLANNING & LANDSCAPE ARCHITECTURE

126 S. Main Street
Oswego, IL 60543
p: 630 551-33
f: 630 551-36
schoppedesign.i



GATEWAYS SERVE AS AN ENTRANCE OR MEANS OF ACCESS.

The gateways of Pinnacle Prairie mark the signed entrances within your unique community, the place where you live, work, play learn, shop and most importantly raise your family. The use of native Iowa limestone combined with native plants, create a grand statement to bring the natural landscape to your door and welcome you home.

II



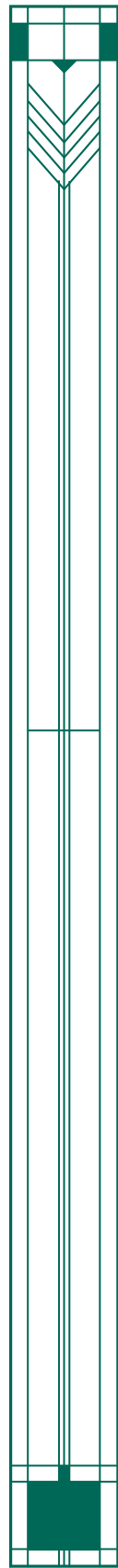
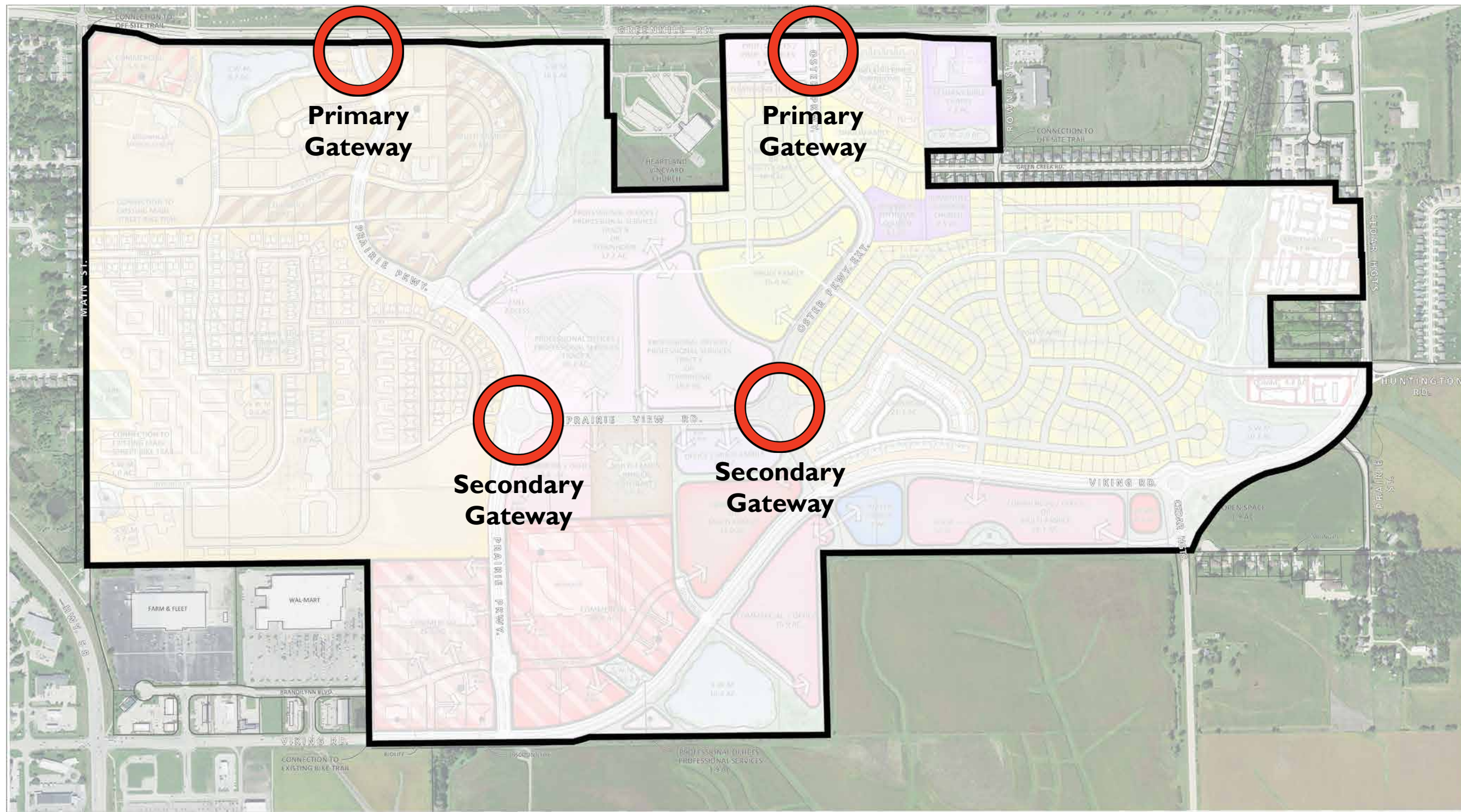
**PINNACLE
PRAIRIE**

Cedar Falls, Iowa

The Community Gateway

Date:
March 8, 2021





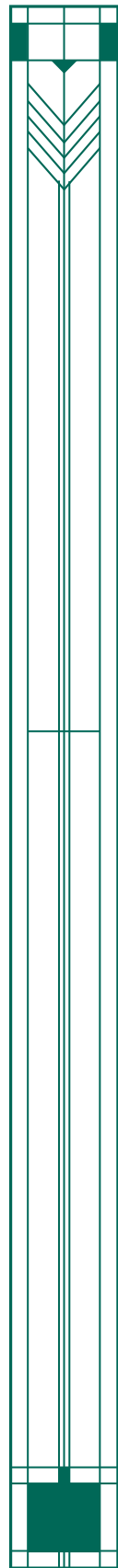
**PINNACLE
PRAIRIE**

Cedar Falls, Iowa

The Community Gateway - Key Map

Date:
March 8, 2021

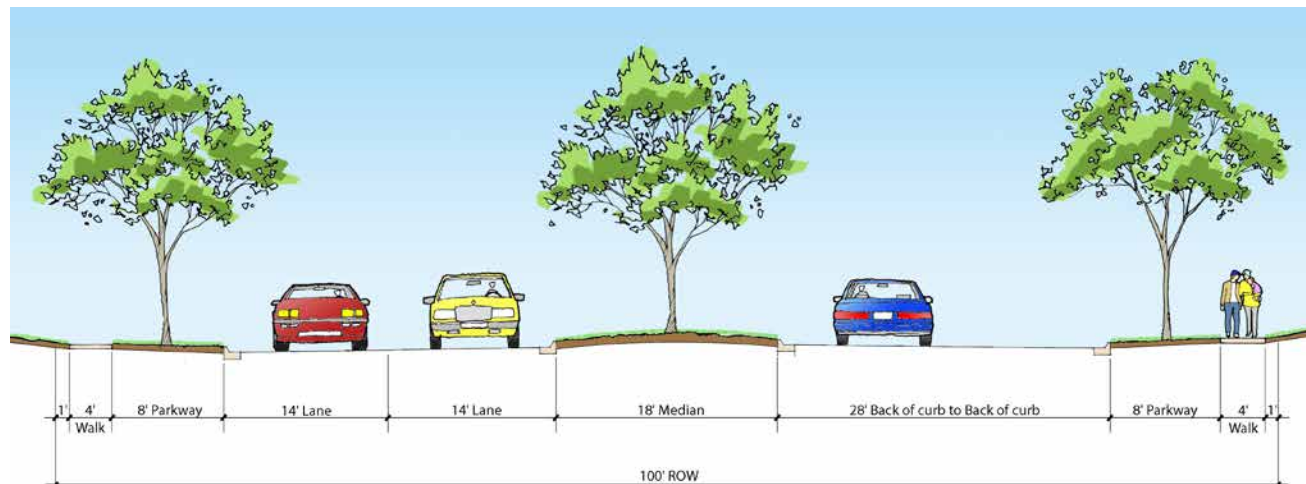




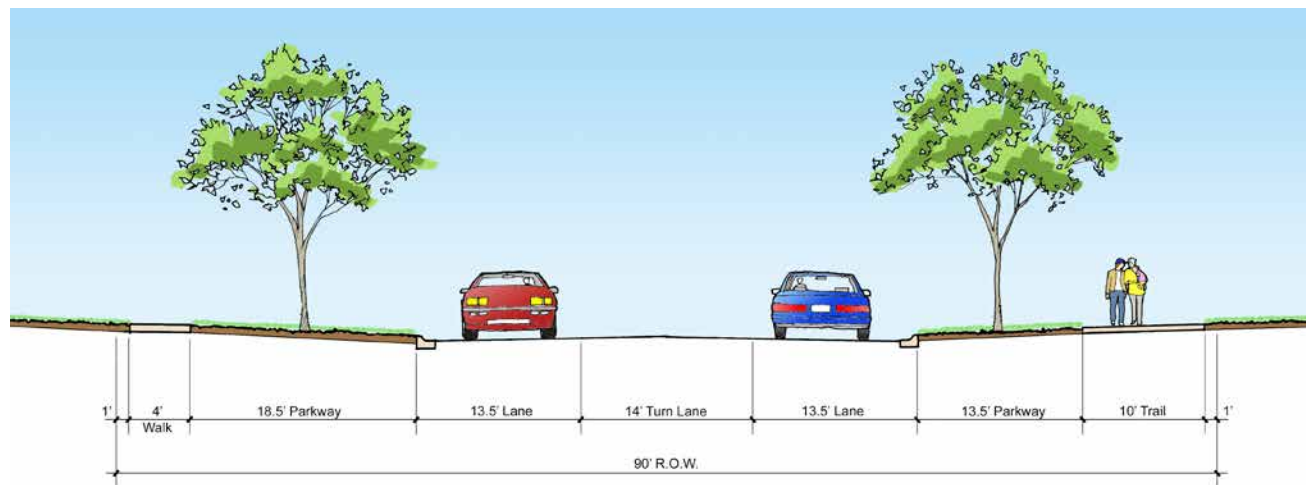
- 1. Prairie Parkway entry sign
- 2. Typical Oster Parkway section
- 3. Typical Prairie View Rd. section



1



2



3

GATEWAYS:

The gateways are designed using naturally occurring Iowa limestone in large slabs. These will be used to create a limestone outcrop onto which the graphics will be placed.

Landscape materials will primarily be ornamental and native grasses to enhance the feeling that Pinnacle Prairie once was part of the multi-state tallgrass prairie that covered the entire state of Iowa. Plants like Big Bluestem (also called Turkey's foot), Little Bluestem, Cordgrass, Coneflower and Cardinal Flower that once dominated the landscape will dominate the "Gateway."

3



PINNACLE PRAIRIE

Cedar Falls, Iowa

The Community Gateway

Date:
March 8, 2021



IS A LOCATION CLOSE TO A WIDE VARIETY OF HOUSING

types within walking distance of the office on your wish list? Does

having stores, restaurants and parks within a short stroll get your

attention? Concerned about the ability to grow your business someday?

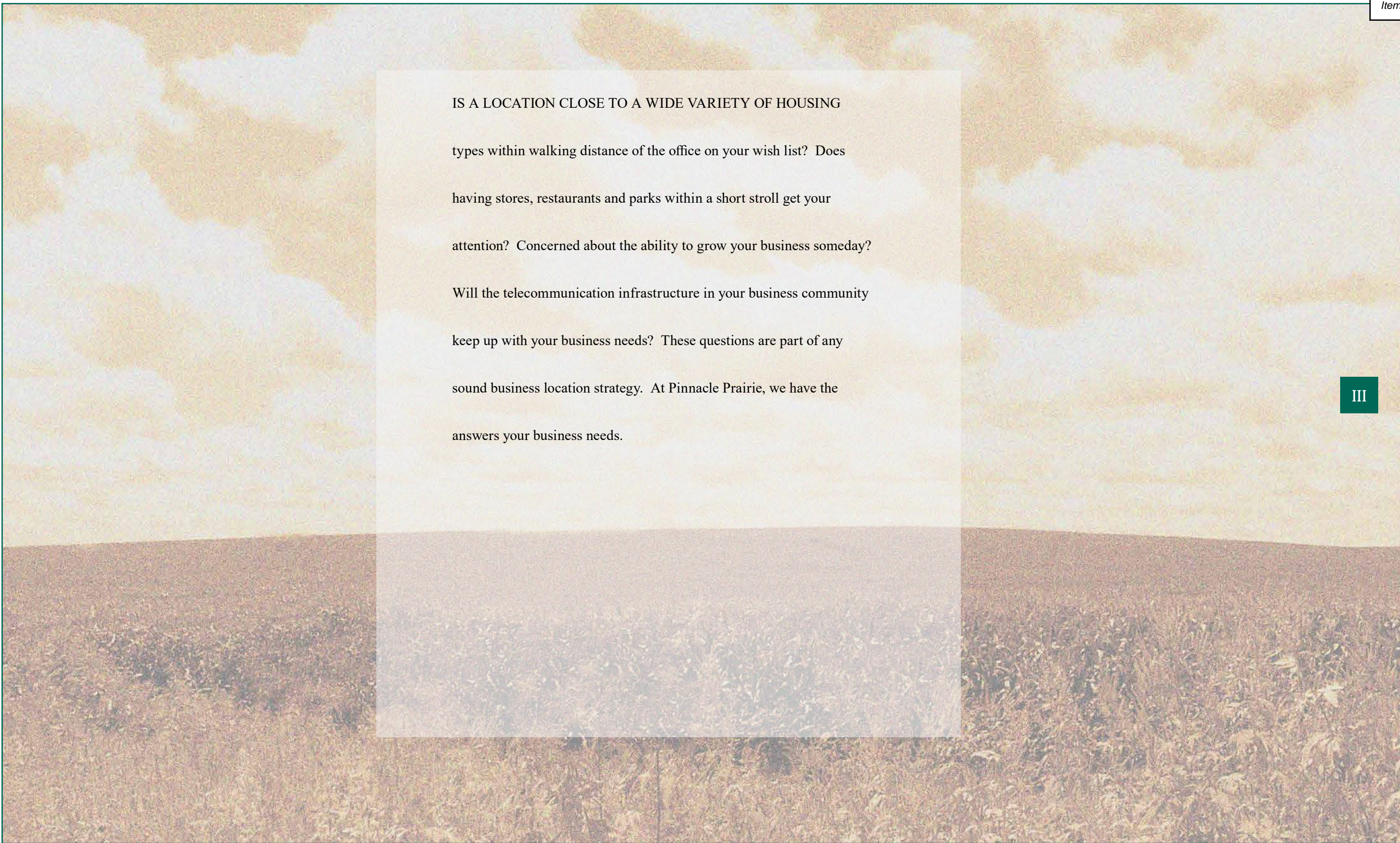
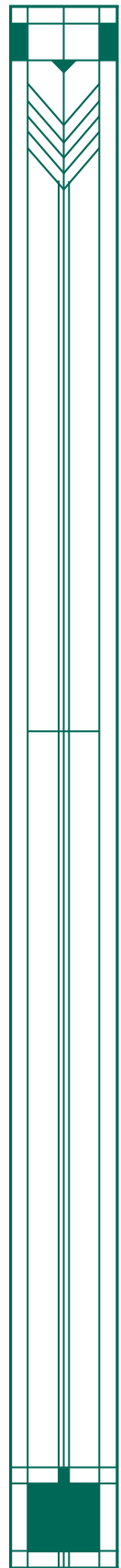
Will the telecommunication infrastructure in your business community

keep up with your business needs? These questions are part of any

sound business location strategy. At Pinnacle Prairie, we have the

answers your business needs.

III



**PINNACLE
PRAIRIE**

Cedar Falls, Iowa

The Prairie Business Park

Date:
March 8, 2021



1-5. Typical Architecture



1



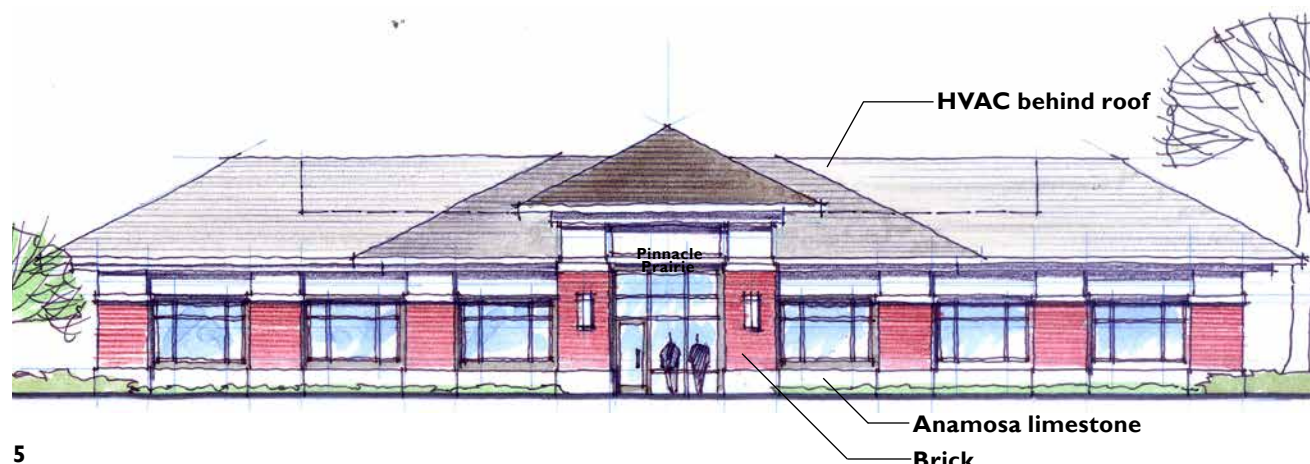
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3



4



5

PRAIRIE BUSINESS PARK USES

1. General Office
Corporate
Multi-story Rental / Condo
Individual users-Architects, Attorneys, etc.
2. Office / Research
3. Corporate Campus
4. Neighborhood Commercial
Grocery Store
Cleaner
Bakery
Card Shop
5. Convenience Store
6. Gas Station
7. Medical / Dental
8. Financial
9. Ancillary Uses
Drugstore
Medical Supplies
10. Restaurant at appropriate locations
11. Multi-Family Residential
(For Multi-Family design standards, see page 13, The Villages - Multi-Family)
12. Townhomes
(For Townhome design standards, see page 12, The Villages - Attached Single-Family)

BUILDINGS

Buildings will be of brick or naturally occurring stone to accentuate the prairie character of the Park.

The architectural design of the buildings located in the 3.3 acre Professional Offices / Professional Services area at the southwest corner of Greenhill Rd. and Oster Parkway will use the existing nearby residential styles as the basis for their design on all side of the buildings

1. Brick will be as manufactured by: Glen-Gery Brick or equal.
2. Stone for bases and plinths shall be Anamosa limestone or equal.
3. Windows shall be Bronze or Champagne to blend with the color choice of the brick.

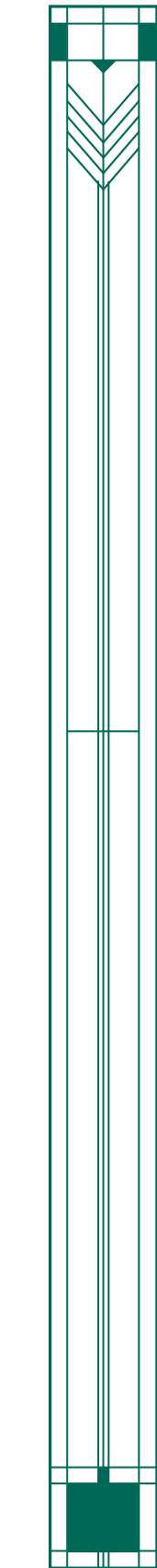
BUILDING SITING

1. Buildings will be sited on the lot so that the primary building elevation is oriented to the street, with primary parking facilities encouraged in the rear and softened by landscaping or berming. This is intended to present the natural landscape to the visitor rather than a parking lot.
2. Buildings are to take advantage of the terrain rather than creating a flat plane. This may mean that a building may appear as a one-story structure along the street, but may be two stories in the rear, with the main parking lot entry at the lower level.
3. Buildings on corner lots will be

placed at corner setbacks with parking encouraged to the rear.

PRIMARY PARKING LOTS

1. Primary parking lot placement will be encouraged to the rear of the building and will contain landscape islands for the placement of shade trees and lighting. If primary parking lots are located in the front, enhanced landscaping will be required around the perimeter. Parking lot islands shall be a minimum of 10' from back of curb to back of curb.
2. Number of parking spaces will be per Cedar Falls ordinance for the appropriate use.
3. Landscape plantings shall provide for shade and ornamental trees, deciduous and evergreen shrubs and evergreen trees along the periphery.
4. Where parking lots for the Business Center about residential uses, a minimum 48" screen planting is required at installation. Plantings shall reach a maximum of 6' at maturity, and can be deciduous, evergreen or a mix and shall be upright in growth habit so as to minimize maintenance.



PINNACLE PRAIRIE

Cedar Falls, Iowa

The Prairie Business Park

Date:
March 8, 2021





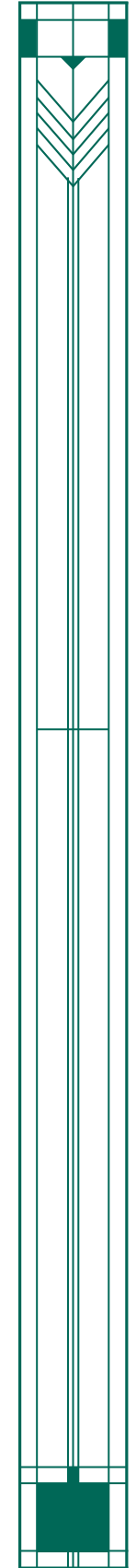
Green Lantern Hanging Lantern



Green Lantern Box Downlight



PRAIRIE BUSINESS PARK (West of Prairie Parkway)



Bronze/Brown or Green Box Downlight



Bronze/Brown or Green Box Downlight LED



Bronze/Brown or Green Lantern pole mounted

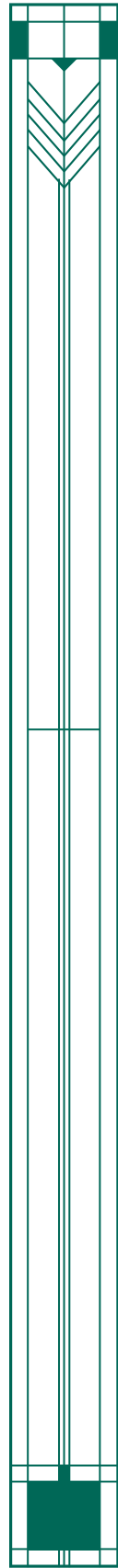


PRAIRIE BUSINESS PARK (East of Prairie Parkway) and PRAIRIE COMMERCIAL DISTRICT

Notes:

- The lighting fixtures illustrated are to be used in the undeveloped non-residential areas as depicted.
- All light poles shall be the same or shorter than the height of the building to which they are accessory.





- 1. Typical site and landscape plan
- 2. Typical identity monument
- 3. Character of parking area landscape screening



1



2



3

LANDSCAPE

The intent of the landscape is to set Pinnacle Prairie apart from other developments and to bring the built environment into harmony with the natural environment. Therefore, materials to be used will include:

- 1. Hardscape
 - Retaining or decorative walls will be constructed of naturally occurring fieldstone or quarried limestone in color and texture to blend with the building.
 - Decorative paving will be clay brick also in colors to blend the structure into the landscape.
- 2. Irrigation required in all front yards to ensure that plant material thrives along all major streets.
- 3. **Plant Types** - Shade trees, ornamental trees, evergreen trees, deciduous and evergreen shrubs, perennials and grasses shall be ornamental and native species capable of thriving in USDA Plant Hardiness Zones 4a and 5b.

- **Street trees:** all streets will have parkway trees at 50' on center spacing and minimum 2.5" caliper size at installation.
- **Shade trees:** shall be 2.5"-4" caliper with no more than 50% of the trees in any one caliper size.
- **Ornamental trees:** Ornamental trees shall vary in height from 6'-10' and generally shall be used in multi-stem form.

- **Evergreen trees/shrubs:** Evergreens shall be a mix of 6'-10' in height at time of installation with no more than 50% of any one size. Shrubs shall be a minimum of 30" in height or spread depending on species.
- **Deciduous shrubs:** shrubs shall be a minimum 24" in height at time of planting.
- **Perennials / grasses:** these are the preferred plant for the landscape, as they require little maintenance or irrigation. Plantings shall be minimum of 1/2 gallon containers at time of installation and spaced 18" on center.
- 4. **Planting Quantities** – In keeping with the vision to distinguish Pinnacle Prairie from other developments, planting quantities shall generally be 10-15% greater than that required by City ordinances.

SIGNAGE

Monument signs shall be of the size detailed herein and shall be made of native limestone or equal. Corporate logos may be incorporated into the sign face and lettering shall be no more than 24" in height unless the building size exceeds 10,000 square feet. In this case the lettering size will be determined by the Cedar Falls ordinance.

Secondary signage will be allowed at the main entry of the building.

Graphics will match monument sign and be no more than 18" in height.

COMMON AREA ASSOCIATION

Each site owner will be a member of the Business Center Association as well and the overall Master Pinnacle Prairie Association for the maintenance of common areas, stormwater management basins, gateways and common open space.



PINNACLE PRAIRIE

Cedar Falls, Iowa

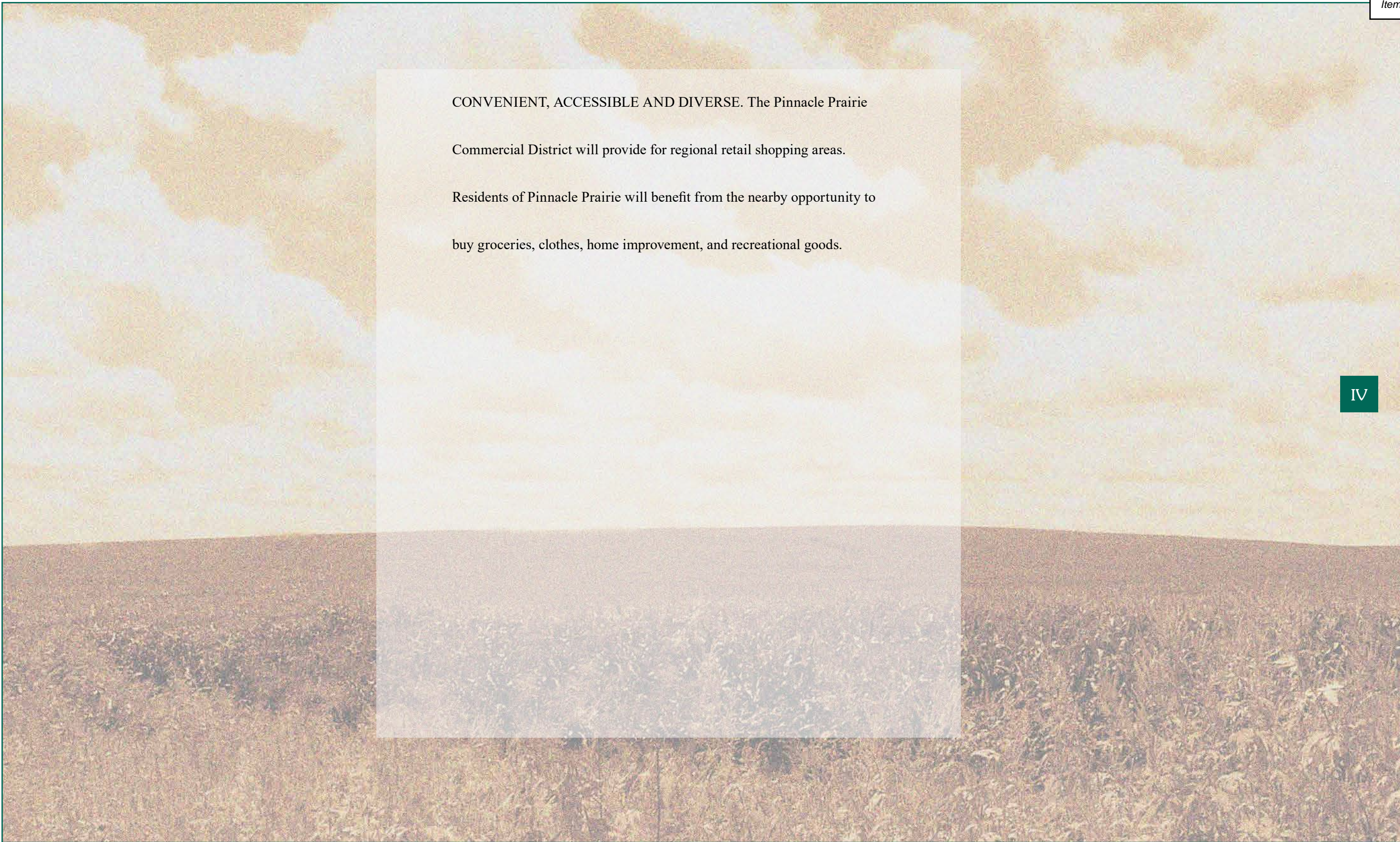
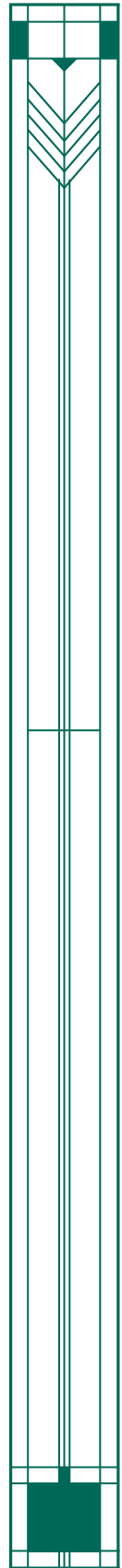
The Prairie Business Park

Date:
March 8, 2021



CONVENIENT, ACCESSIBLE AND DIVERSE. The Pinnacle Prairie Commercial District will provide for regional retail shopping areas. Residents of Pinnacle Prairie will benefit from the nearby opportunity to buy groceries, clothes, home improvement, and recreational goods.

IV



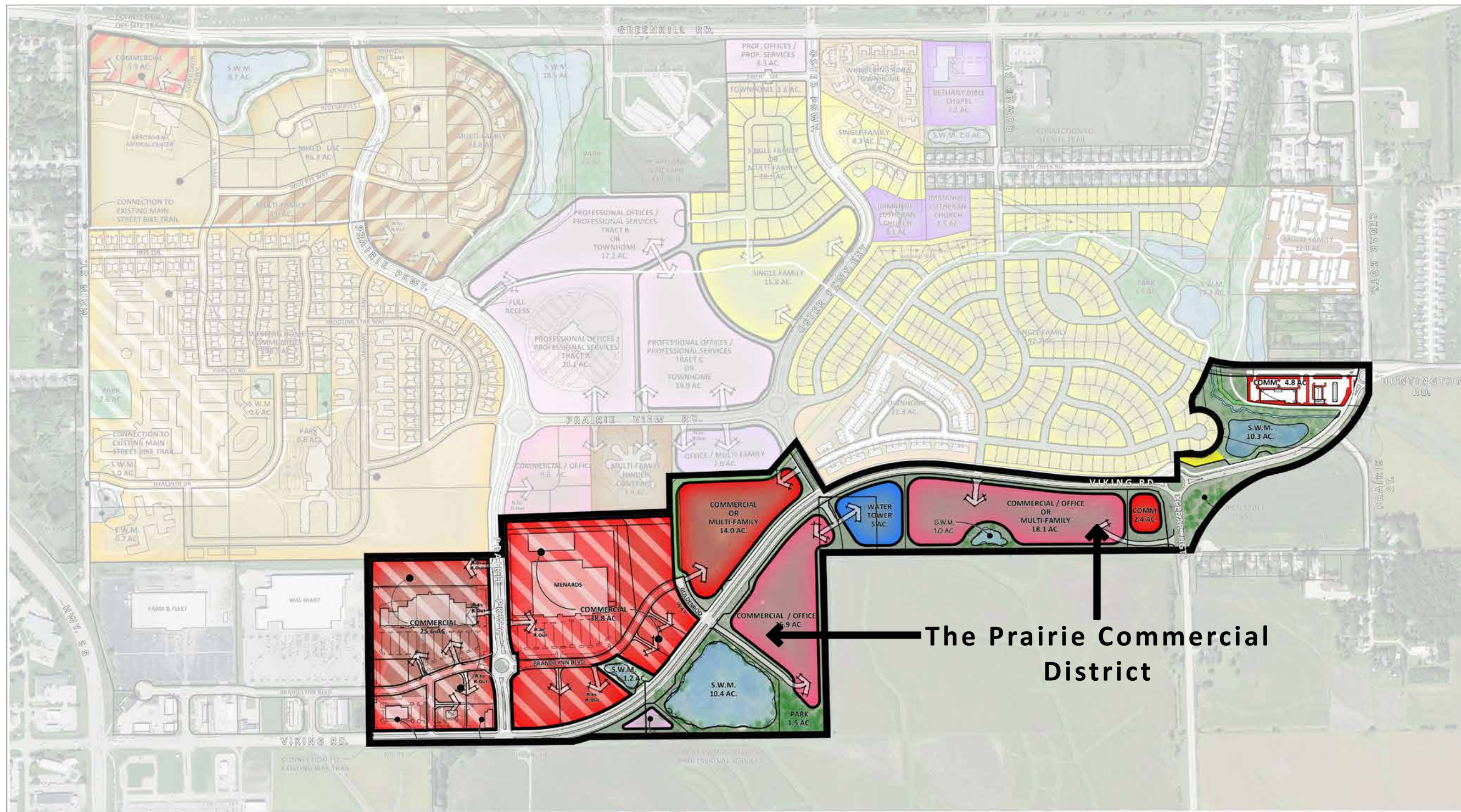
**PINNACLE
PRAIRIE**

Cedar Falls, Iowa

The Prairie Commercial District

Date:
March 8, 2021





The Prairie Commercial District

I-4. Typical Architectural style



PRAIRIE COMMERCIAL DISTRICT USES

- 1. Regional Commercial
 - Shopping Centers
 - Hotels / Motels
 - Restaurants
 - Service Stations
 - Retail Uses
 - Office / Research
 - Corporate Campus
- 2. Neighborhood Commercial
 - Grocery Store
 - Cleaner
 - Bakery
 - Card Shop
 - Convenience Store
 - Gas Station
 - Multi-family Residential (For Multi-Family design standards, see page 13, The Villages - Multi-Family)

BUILDINGS

Buildings and structures should be built primarily of brick, naturally occurring fieldstone or quarried limestone with colors, designs and patterns that highlight the natural color palette and textures of rural Iowa and the prairie character of the District while still allowing for corporate branding and theming to come through in the overall design.

- 1. Brick will be as manufactured by: Glen-Gery Brick or equal.
- 2. Stone for bases and plinths shall be Anamosa limestone or equal.
- 3. Cultured Stone or approved equal shall be allowed in lieu of natural stone & full brick.
- 4. Windows shall be Bronze or Champagne to blend with the color choice of the brick.

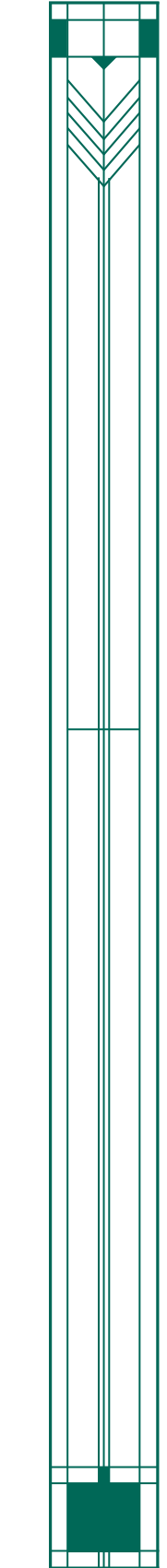
BUILDING SITING

- 1. Buildings within the Commercial Zoned HWY-1 areas will be sited to accentuate their prominence along Viking Road while taking advantage of the natural terrain and vistas when possible. Landscaping of these uses should emphasize natural and flowing movements and are not intended to block the view from Viking Road.
- 2. Buildings within the Commercial, Professional Services and Office areas will be sited on the lot so that the primary building elevation is oriented to the street, with primary parking facilities encouraged in the rear and softened by landscaping or berming. This is intended to present the natural landscape to the visitor rather than a parking lot.
- 3. The siting of buildings within the Professional Services and Office should take advantage of the terrain rather than creating a flat plane. As an example, a building may appear as a one-story structure along the street, but may be two stories in the rear, with the main parking lot entry at the lower level or vice versa.

PARKING LOTS

- 1. Parking lot placement within the Commercial Zoned HWY-1 areas will be allowed in the front of the building and will contain landscape islands for the placement of shade trees

- and lighting, in accordance with City of Cedar Falls requirements.
- 2. Parking lot placement within the Commercial, Professional Services and Office will be encouraged to the rear of the building and will contain landscape islands for the placement of shade trees and lighting.
- 3. If primary parking lots are located in the front, enhanced landscaping will be required around the perimeter. Parking lot islands shall be a minimum width of 10' from back of curb to back of curb.
- 4. Number of parking spaces will be per Cedar Falls ordinance for the appropriate use.
- 5. Landscape plantings shall include shade and ornamental trees, deciduous and evergreen shrubs and evergreen trees along the periphery.
- 6. Where parking lots for the Prairie Commercial District abut residential uses, a minimum 48" high screen planting is required at installation. Plantings shall reach a maximum of 6' at maturity, and can be deciduous, evergreen or a mix and shall be upright in growth habit so as to minimize maintenance.





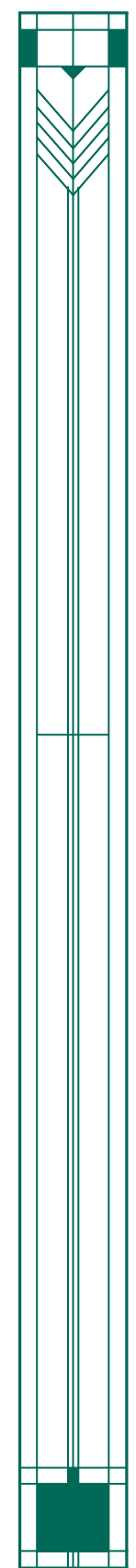
Green Lantern Hanging Lantern



Green Lantern Box Downlight



PRAIRIE BUSINESS PARK (West of Prairie Parkway)



Bronze/Brown or Green Box Downlight



Bronze/Brown or Green Box Downlight LED



Bronze/Brown or Green Lantern pole mounted



PRAIRIE BUSINESS PARK (East of Prairie Parkway) and PRAIRIE COMMERCIAL DISTRICT

Notes:

- The lighting fixtures illustrated are to be used in the undeveloped non-residential areas as depicted.
- All light poles shall be the same or shorter than the height of the building to which they are accessory.



I-4. Site & Parking Lot Landscaping



1



2



3



4

LANDSCAPE

The intent of the landscape is to set Pinnacle Prairie apart from other developments and to bring the built environment into harmony with the natural environment. Therefore, materials to be used will include:

1. Hardscape
 - Retaining or decorative walls will be constructed of naturally occurring fieldstone or quarried limestone in color and texture to blend with the building.
 - Decorative paving will be clay brick also in colors to blend the structure into the landscape.
2. Irrigation required in all front yards to ensure that plant material thrives along all major streets.
3. Plant Types - Shade trees, ornamental trees, evergreen trees, deciduous and evergreen shrubs, perennials and grasses shall be ornamental and native species capable of thriving in USDA Plant Hardiness Zones 4a and 5b.

multi-stem form.

- **Evergreen trees/shrubs:** Evergreens shall be a mix of 6'-10' in height at time of installation with no more than 50% of any one size. Shrubs shall be a minimum of 30" in height or spread depending on species.
- **Deciduous shrubs:** shrubs shall be a minimum 24" in height at time of planting.
- **Perennials / grasses:** these are the preferred plant for the landscape, as they require little maintenance or irrigation. Plantings shall be minimum of 1/2 gallon containers at time of installation and spaced 18" on center. Planting Quantities – In keeping with the vision to distinguish Pinnacle Prairie from other developments, planting quantities shall generally be 10-15% greater than that required by City ordinances.

24" in height unless the building size exceeds 10,000 square feet. In this case the lettering size will be determined by the Cedar Falls ordinance.

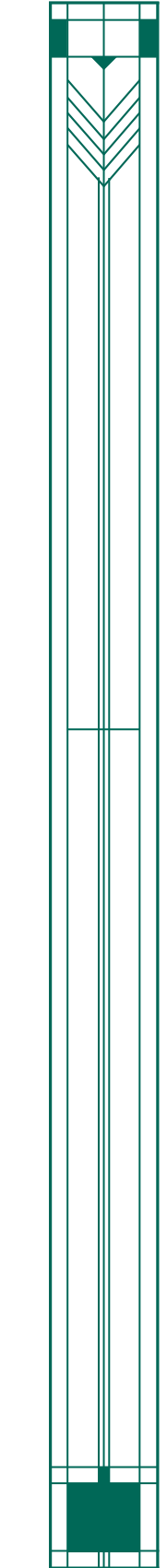
Secondary signage will be allowed at the main entry of the building. Graphics will match the monument sign and be no more than 18" in height.

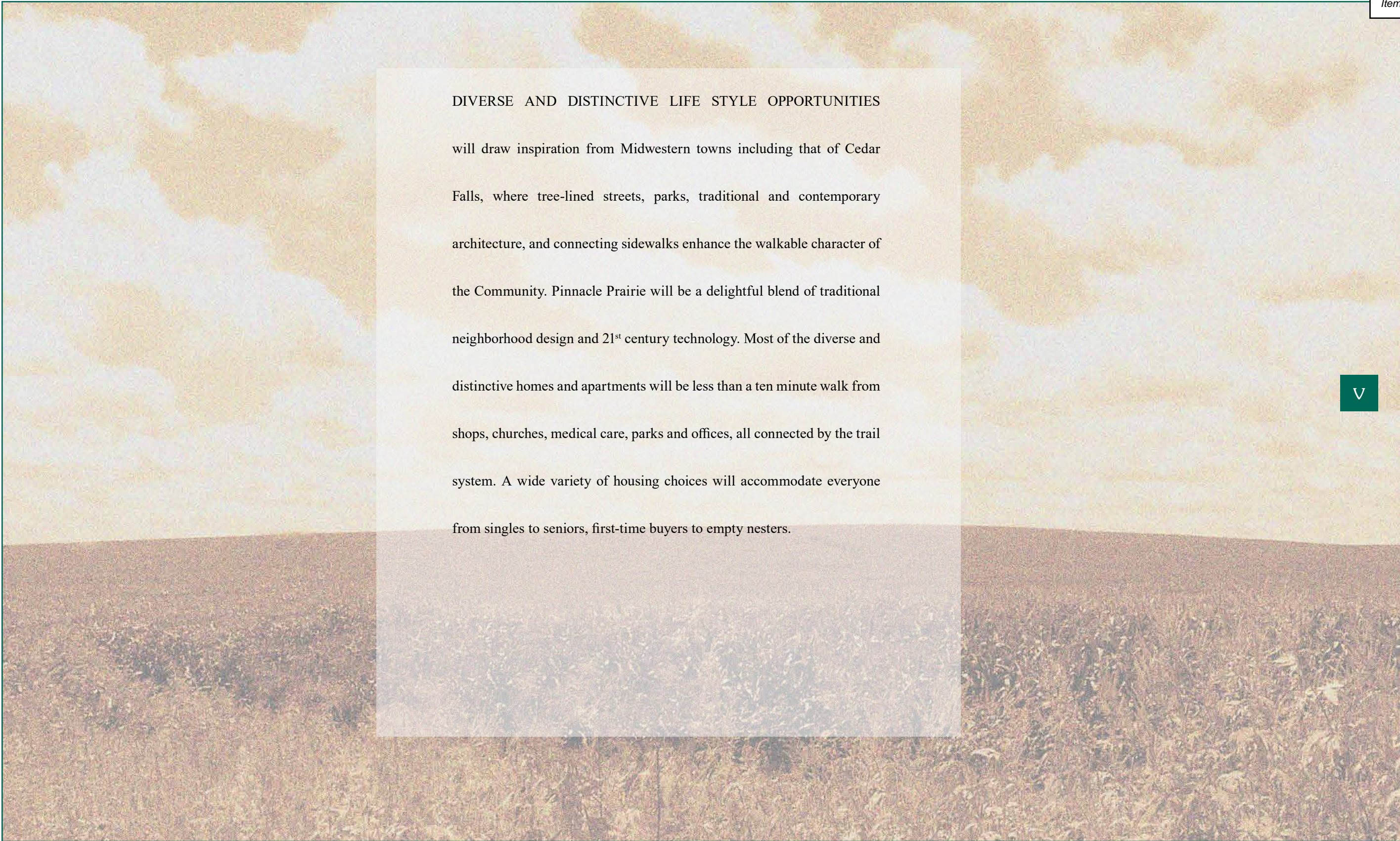
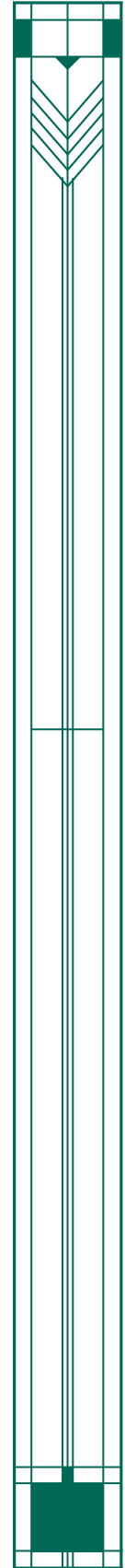
COMMON AREA ASSOCIATION

Each site owner will be a member of the Business Center Association as well and the overall Master Pinnacle Prairie Association for the maintenance of common areas, stormwater management basins, gateways and common open space.

SIGNAGE

Monument signs shall be of the size detailed herein and shall be made of brick, naturally occurring fieldstone or quarried limestone designs and patterns that highlight the natural color palette and textures of rural Iowa the signs should reflect the prairie character of the District while still allowing for corporate branding and theming to come through in the overall design and to blend with the building. Corporate logos may be incorporated into the sign face, and lettering shall be no more than





DIVERSE AND DISTINCTIVE LIFE STYLE OPPORTUNITIES

will draw inspiration from Midwestern towns including that of Cedar Falls, where tree-lined streets, parks, traditional and contemporary architecture, and connecting sidewalks enhance the walkable character of the Community. Pinnacle Prairie will be a delightful blend of traditional neighborhood design and 21st century technology. Most of the diverse and distinctive homes and apartments will be less than a ten minute walk from shops, churches, medical care, parks and offices, all connected by the trail system. A wide variety of housing choices will accommodate everyone from singles to seniors, first-time buyers to empty nesters.



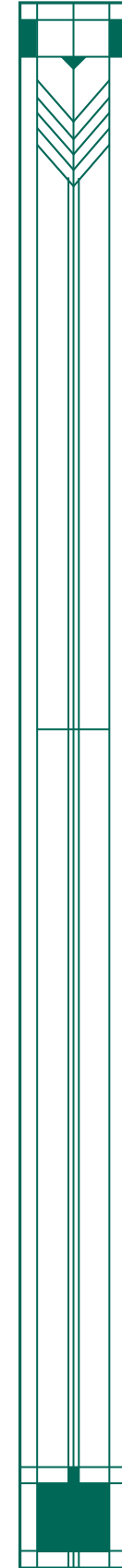
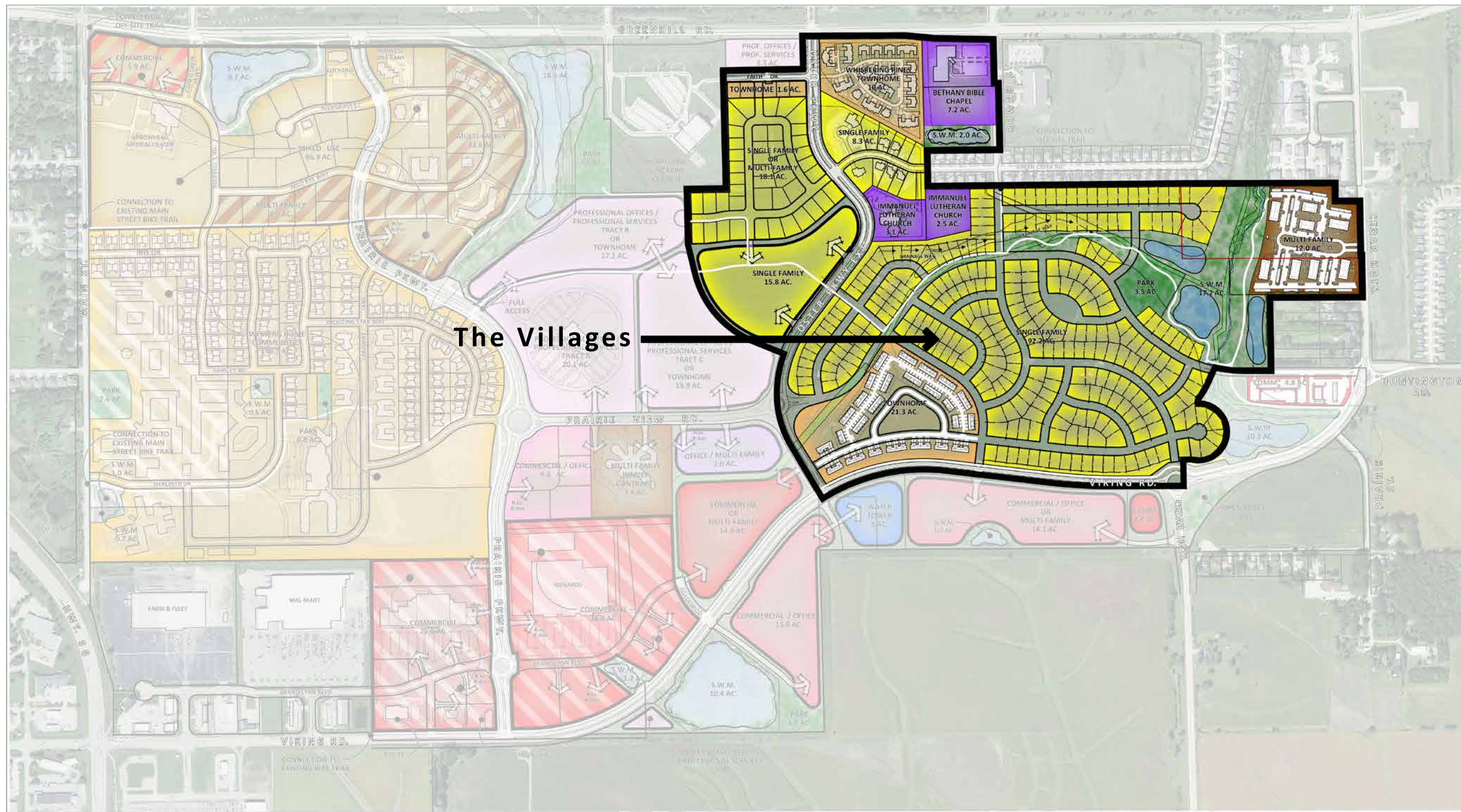
PINNACLE PRAIRIE

Cedar Falls, Iowa

The Villages

Date:
March 8, 2021





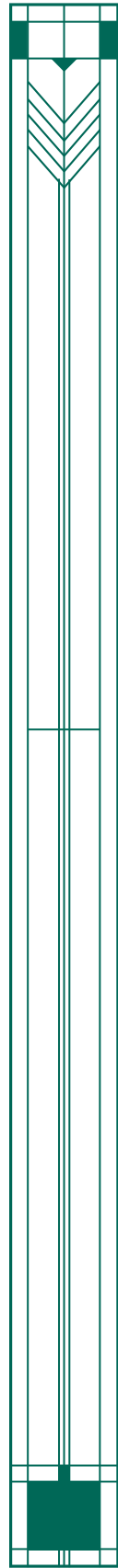
**PINNACLE
PRAIRIE**

Cedar Falls, Iowa

The Villages - Key Map

Date:
March 8, 2021





- 1. Entry Level Single Family
- 2. Entry Level Single Family
- 3. Move - Up Single Family
- 4. Move - Up Single Family
- 5. Upper / Custom Single Family
- 6. Upper / Custom Single Family



1



2



3



4



5



6

SINGLE FAMILY

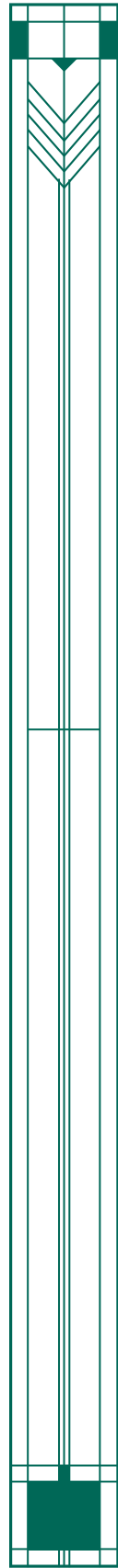
The single-family neighborhoods will be a blend of traditional homes and contemporary design. Each neighborhood will have a mix of lot sizes and architectural styles.

1. Minimum single story home shall be 1,200SF.
2. Minimum two story home shall be 1,600SF with a minimum first floor of 800SF.
3. Sideyard setback shall be 5'. All other setback requirements shall be per Cedar Falls ordinance
4. Fencing shall be per Cedar Falls ordinance. If chain link is used, it shall be black vinyl clad.
5. Garages that are separate from the main structure or attached by means of a garden room may have a second floor "granny flat" or work room with separate access.
6. Building Materials:
 - Exterior walls:
 - Siding; wood or vinyl clapboard
 - Brick; color range from red to brown and sand
 - Wood shingle
 - Native limestone
 - Hardi Plank
 - Cultured Stone
 - Roofing:
 - Composite shingles 30 year minimum
 - Wood shingles / shakes
 - Slate
 - Synthetic shake shingles
 - Metal roofing is not allowed

7. Landscape

- Hardscape patios shall be brick or concrete
- Wood decks shall be a natural color.
- Planting: Each single-family home shall have a minimum \$2,500 landscape package. The package shall consist of one 2.5" caliper shade tree in the rear yard; one 7'H. ornamental or evergreen tree in the front yard and a mix of shrubs, perennials and grasses.
- Street trees: Street trees shall be a minimum of 2.5" caliper and shall be planted in the parkway at the rate of one (1) tree per lot. On corner lots, two (2) street trees per lot shall be required.
- Perimeter: Where single-family lots abut a community road, a minimum 10' wide buffer planting will be provided. Buffer area shall include berming and planting. Berms shall be meandering and range in height from 2'-4'. Plantings shall be a mix of shade trees, ornamental and evergreen trees and shrubs and perennials. At time of planting, plants shall provide a minimum of 25% visual screen to the homes.

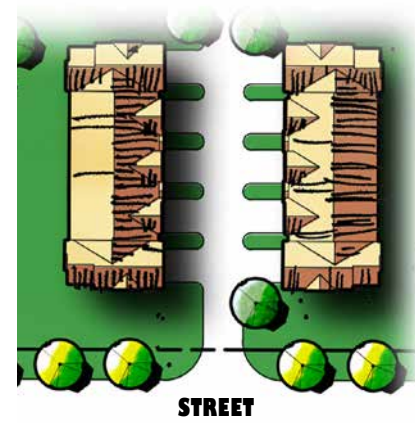




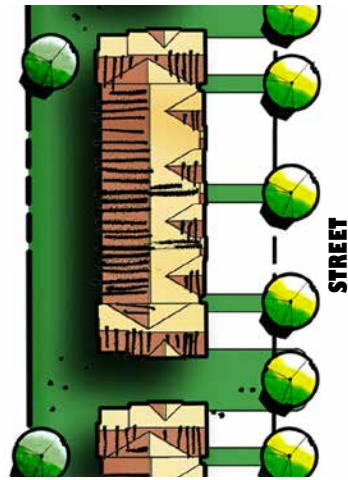
1. Alley loaded townhome style unit
2. Typical plan view showing alley loaded townhome style unit
3. Typical plan view showing traditional townhome style unit
4. Traditional townhome style unit



1



2



3



4

ATTACHED SINGLE-FAMILY

The attached single-family neighborhoods will be a blend of traditional town homes and alley loaded court homes. Each neighborhood can have a mix of unit types and may have a mix of traditional and alley loaded homes.

1. Minimum single story home shall be 1,050SF.
2. Minimum two story home shall be 1,250SF.
3. Setback requirements shall be per Cedar Falls ordinance
4. Building Materials:

Exterior walls:

- Siding; wood or vinyl clapboard
- Brick; color range from red to brown and sand
- Wood shingle
- Native limestone
- Hardi Plank
- Cultured Stone

Roofing:

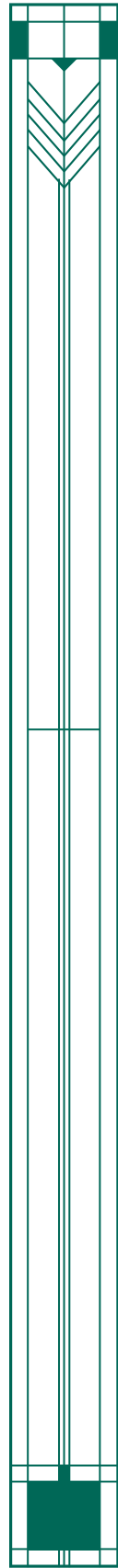
- Composite shingles 30 year minimum
- Wood shingles / shakes
- Slate
- Synthetic shake shingles
- Metal roofing is not allowed

5. Landscape

- Hardscape patios shall be brick or concrete
- Wood decks shall be a natural color.
- Planting: Each unit shall have a minimum \$1,500 landscape package. Plants are encouraged to be native species or hybrids of native species.
- Street trees: Street trees shall

be a minimum of 2.5" caliper and shall be planted in the parkway at the rate outlined in Cedar Falls ordinances.





1. Typical 3-story multi-family units with underground parking
2. Typical 4-story multi-family units with underground parking
3. Typical 3-story multi-family units with at grade garage parking
4. Typical 3-story multi-family units with underground parking
5. Typical 3-story multi-family units with at grade garage parking



1



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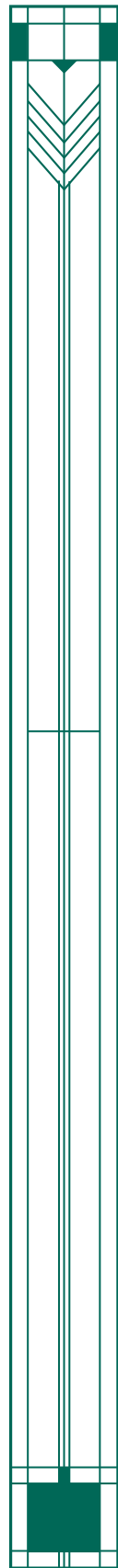
MULTI-FAMILY

The multi-family neighborhoods may be a blend of rental and condominium units. Each neighborhood is intended to provide housing opportunities for those who do not wish to own a traditional home or town home or do not wish to purchase at their particular time in life.

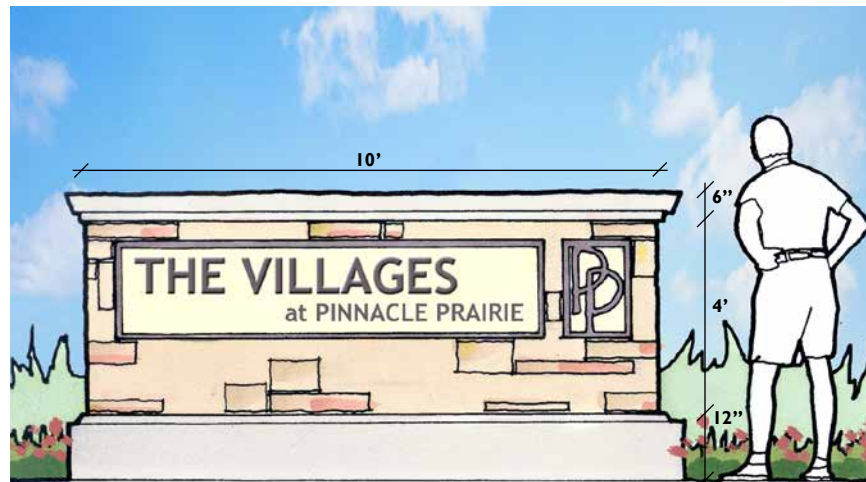
1. Minimum unit size shall be 850SF.
2. Setback requirements shall be per Cedar Falls ordinances
3. Garages will be provided for minimum of 50% of all units. Garages may be internal to the main structure or in a separate location near the building.
4. Building Materials:
 - Exterior walls:
 - Siding; wood or vinyl clapboard
 - Brick; color range from red to brown and sand
 - Stucco / plaster
 - Wood shingle
 - Native limestone
 - Cultured Stone or approved equal shall be allowed in lieu of natural stone & full brick.
 - Roofing:
 - Composite shingles 30-year minimum
 - Wood shingles / shakes
 - Slate
 - Synthetic shake shingles
 - Metal roofing is not allowed.
6. Landscape
 - Hardscape patios shall be brick or concrete
 - Decks shall be cedar or redwood

- Planting: Each unit shall have a minimum \$1,000 landscape package exclusive of sod or seed cost. Plants are encouraged to be native species of hybrids of native species.
- Street Trees: Street trees shall be a minimum of 2.5" caliper and shall be planted in the parkway at the rate of one (1) tree per 50' of frontage.
- Perimeter: Where multi-family lots abut a community road, a minimum 10' buffer planting area will be provided. Buffer will include berming and planting. Berms shall be meandering and range in height from 4'-8'. Plantings shall be a mix of shade trees, ornamental and evergreen trees, shrubs and perennials. At time of planting, plants shall provide a min. of 20% visual screen to the homes.

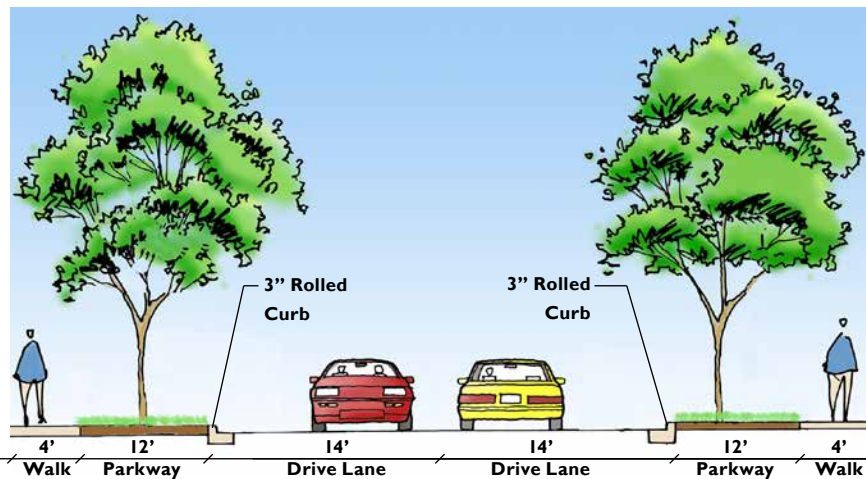




- 1. Typical residential neighborhood sign
- 2. Typical street section
- 3. Typical neighborhood park showing trail connection



1



2



3

SIGNAGE

Signage will be allowed for each neighborhood and may be located at each entry from a community road.

Graphics may contain a logo and text may be no more than 24" in height.

- Placement will be as shown herein.
- Graphic fonts will be at purchaser's discretion.
- Advertising or other miscellaneous signage, except directional signs will not be allowed.

Signs will be constructed in accordance with the accompanying design. Materials will be native Anamosa limestone to match the "Community Gateway" shown elsewhere in this document.

PARKS AND PATHWAYS

Pinnacle Prairie will be served by two parks. Each park will be developed with a tot lot, a sitting area with a 10'-12' shelter, and benches. A 6 foot pathway system will be developed throughout Pinnacle Prairie to provide bicycle and pedestrian connectivity between the various commercial and business uses, the open space amenities, and the neighborhoods of the project.

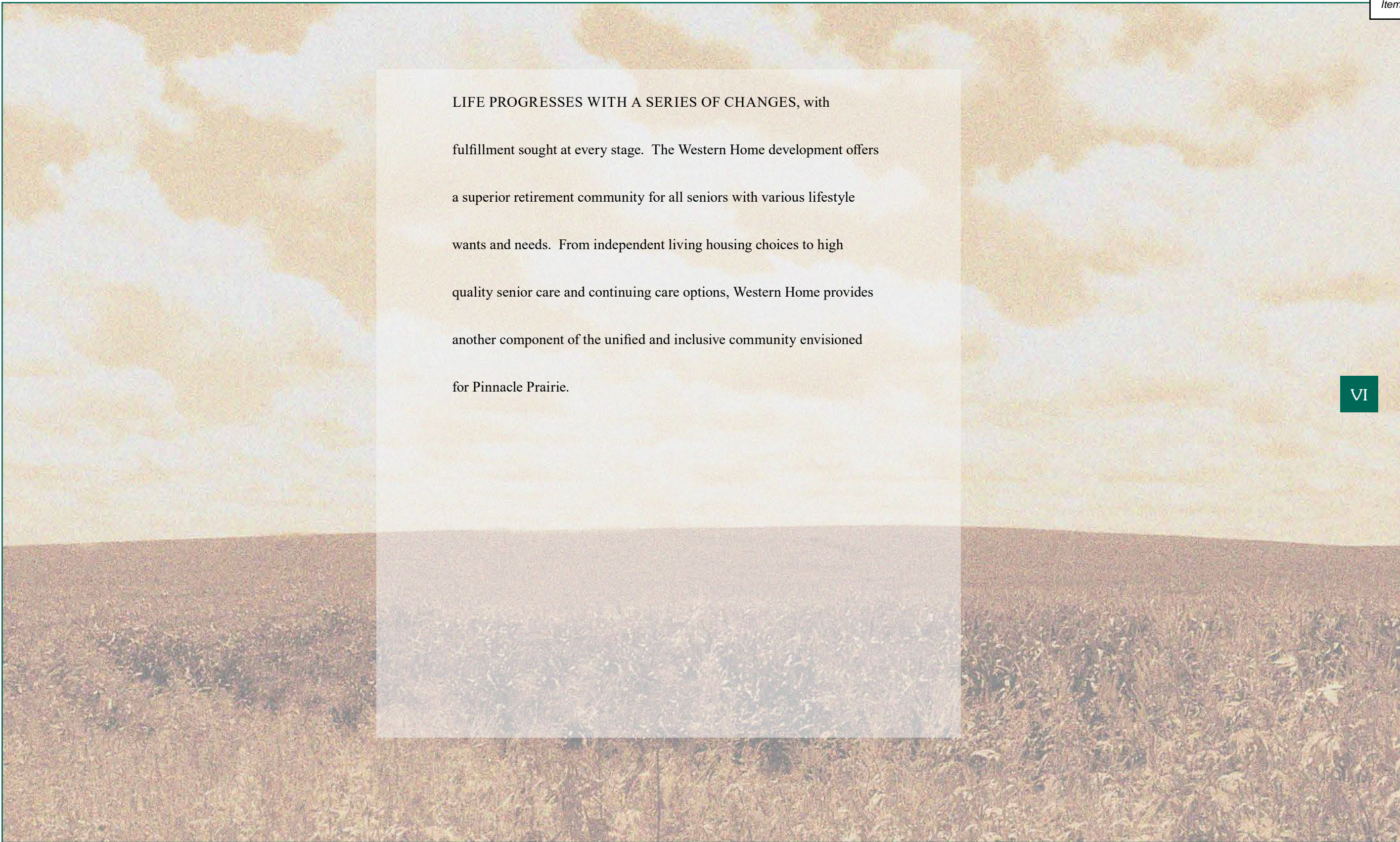
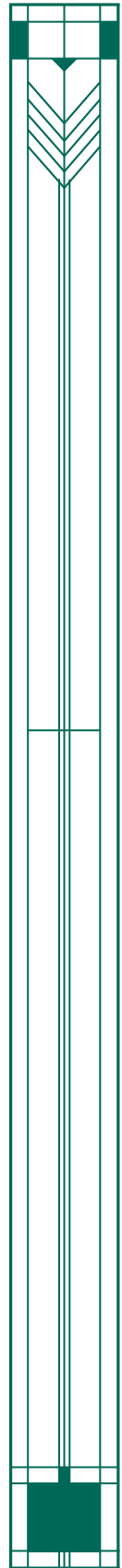
COMMON AREA ASSOCIATION

Each single family, attached single family and multi-family neighborhood will have a homeowners association for the maintenance of common areas, monument signage and buffers. Each residential area will also be part of the overall Master Pinnacle Prairie Association for the maintenance of the gateways, medians in major streets, stormwater management basins and parks.



LIFE PROGRESSES WITH A SERIES OF CHANGES, with fulfillment sought at every stage. The Western Home development offers a superior retirement community for all seniors with various lifestyle wants and needs. From independent living housing choices to high quality senior care and continuing care options, Western Home provides another component of the unified and inclusive community envisioned for Pinnacle Prairie.

VI



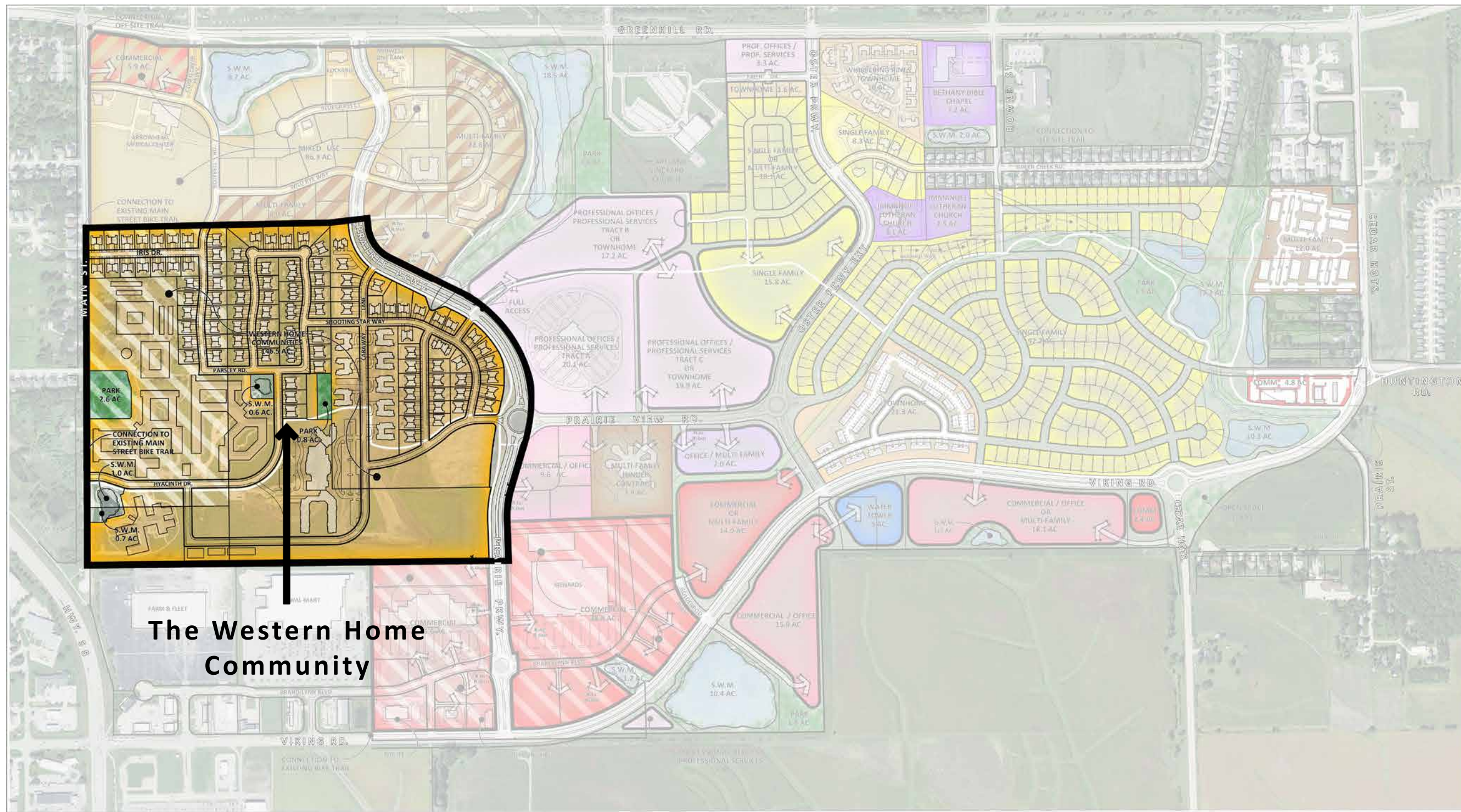
**PINNACLE
PRAIRIE**

Cedar Falls, Iowa

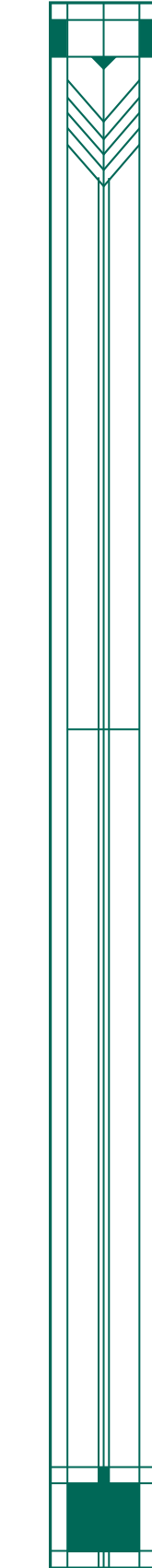
Western Home

Date:
March 8, 2021





The Western Home Community



**PINNACLE
PRAIRIE**

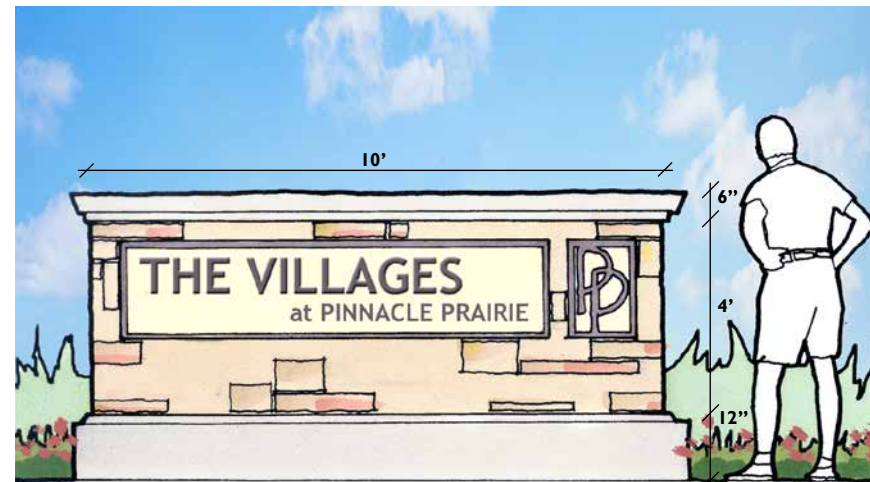
Cedar Falls, Iowa

Western Home - Key Map

Date:
March 8, 2021



- 1. Typical residential neighborhood sign
- 2. Western Home Master Plan



APPLICABILITY

The guidelines and standards within Western Home section of the General Design Guidelines shall be applicable to any land that is within 100' if Prairie Parkway.

BUILDINGS

Due to the importance of the Pinnacle Prairie frontage, all buildings will incorporate four sided architecture where the side and rear elevations of the homes or buildings will be of same quality of design and materials that are used on the front elevation.

LANDSCAPE

- Hardscape patios shall be brick or concrete
- Wood decks shall be a natural color.
- **Planting:** Each single-family home shall have a minimum \$2,000 landscape package. The package shall consist of one 2.5" caliper shade tree in the rear yard; one 7'H. ornamental or evergreen tree in the front yard and a mix of shrubs, perennials and grasses. Plants are encouraged to be native species or hybrids of native species.
- **Street trees:** Street trees shall be a minimum of 2.5" caliper and shall be planted in the parkway at the rate of one (1) tree per lot. On corner lots, two (2) street trees per lot shall be required.
- **Perimeter:** Where residential units abut Prairie Parkway, a minimum 10' wide buffer planting will be provided. Buffer area shall include berming and planting. Berms shall be meandering and range in height from 2'-4'. Plantings shall be a mix of shade trees, ornamental and evergreen trees and shrubs and perennials. At time of planting, plants shall provide a minimum of 25% visual screen to the homes.

SIGNAGE

Signage will be allowed for each neighborhood and may be located at each entry from a community road.

Graphics may contain a logo and text may be no more than 24" in height.

- Placement will be as shown herein.
- Graphic fonts will be at purchaser's discretion
- Advertising or other miscellaneous signage, except directional signs will not be allowed.

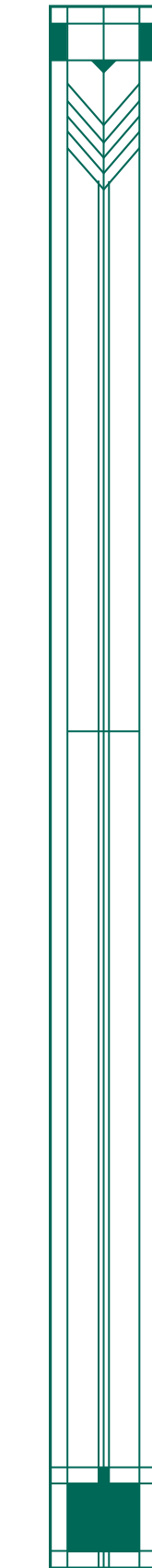
Signs will be constructed in accordance with the accompanying design. Materials will be native Anamosa limestone to match the "Community Gateway" shown elsewhere in this document.

PATHWAYS

A bike path will be developed through Western Home along Western Boulevard that will connect to the bike path along South Main Street and Prairie Parkway. This bike path will provide bicycle and pedestrian connectivity between commercial uses, open space amenities and the neighborhoods of the project.

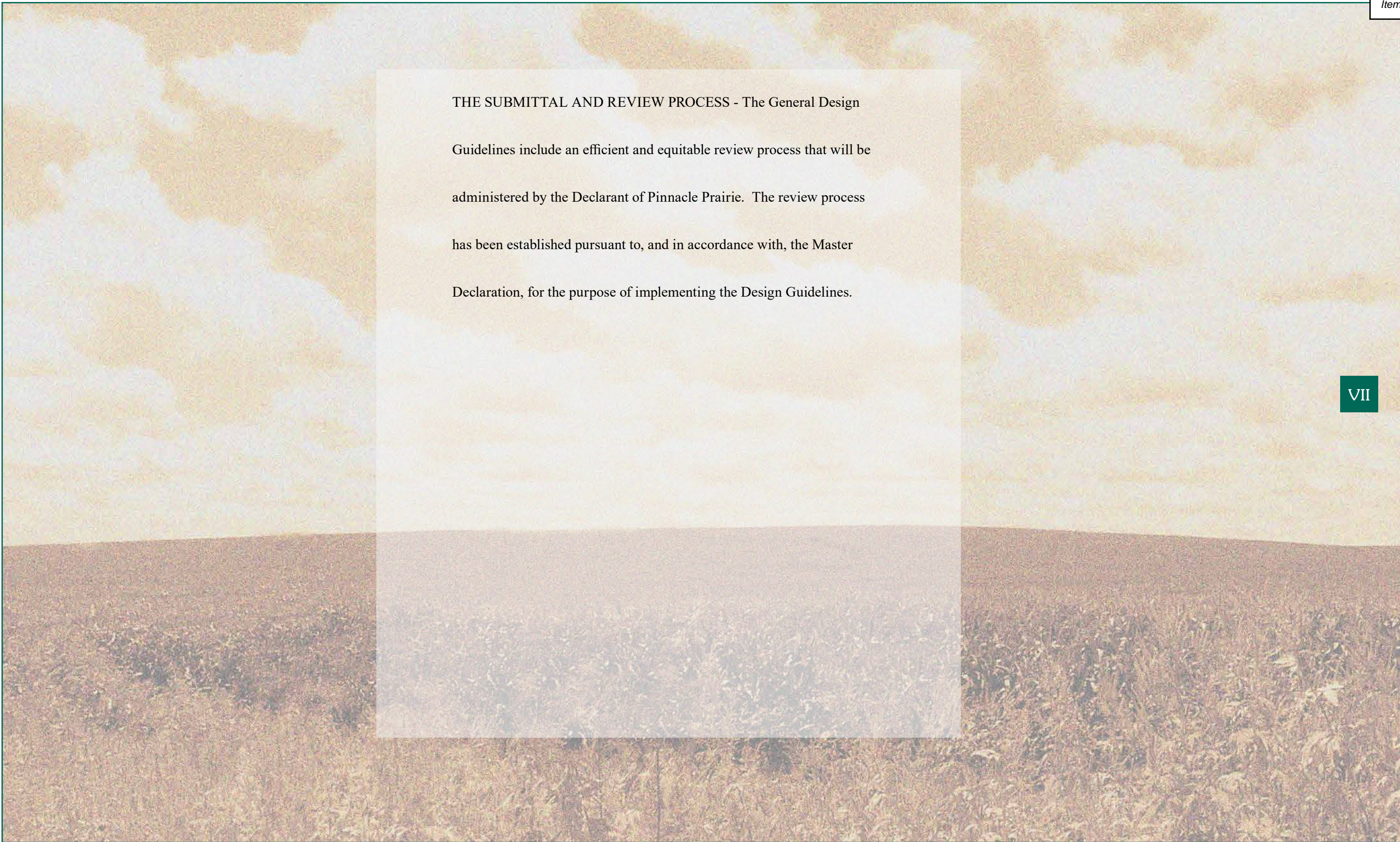
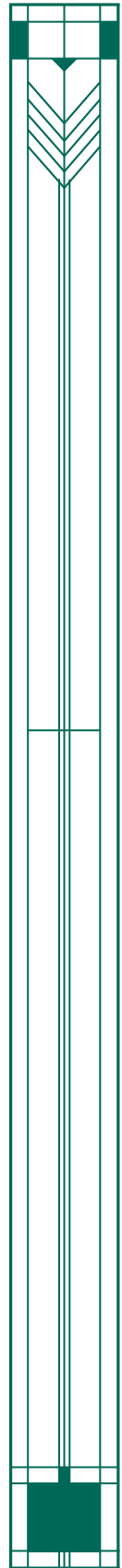
COMMON AREA ASSOCIATION

Western Home will be a member of the overall Master Pinnacle Prairie Association for the maintenance of common areas, stormwater management basins, gateways, common open space and parks.



THE SUBMITTAL AND REVIEW PROCESS - The General Design Guidelines include an efficient and equitable review process that will be administered by the Declarant of Pinnacle Prairie. The review process has been established pursuant to, and in accordance with, the Master Declaration, for the purpose of implementing the Design Guidelines.

VII



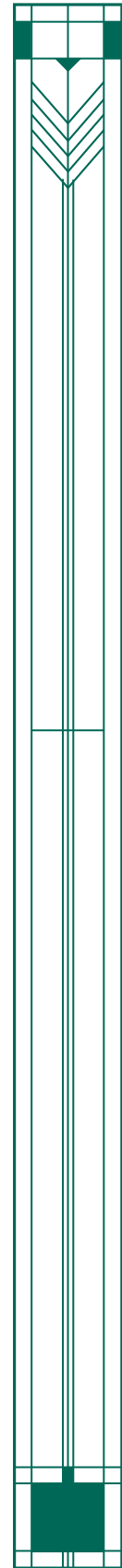
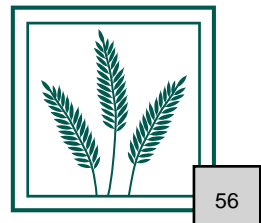
**PINNACLE
PRAIRIE**

Cedar Falls, Iowa

The Submittal and Review Process

Date:
March 8, 2021





I. Example Application

DEVELOPMENT APPROVAL APPLICATION

Applicant shall submit plans for review as outlined in the Pinnacle Prairie Review and Submittal Process, as outlined on Page 18.

List the specific documents being submitted:

- 1) _____
- 2) _____
- 3) _____
- 4) _____
- 5) _____
- 6) _____

Builder/Developer: _____ Contact Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Telephone: _____

E-Mail Address: _____

Date Submitted: _____

Approval Status:

- Approved as submitted, no resubmittal required
- Approved as noted, no resubmittal required
- Approved as noted, resubmittal required
- Rejected, resubmittal required

Reviewed by: _____

Date Reviewed: _____

Comments: _____

THE REVIEW AND SUBMITTAL PROCESS

All proposed building and development within of Pinnacle Prairie must be reviewed and approved by the Declarant prior to seeking development approval from the City of Cedar Falls. The Declarant will review each builder's development package for conformance to the Design Guidelines, and will review individual homeowner's submittals using the same standards.

All reviews, substitutions and approvals by the Declarant will be considered binding and final.

The Declarant will have authority over both new construction and exterior remodels, additions and other improvements.

I. PRE-SUBMITTAL MEETING

Prior to submitting plans for approval, the Applicant is encouraged to meet with the Declarant to informally discuss Applicant's plans. The Declarant will be available to help interpret the standards and offer suggestions about the applicant's design concepts. The Applicant is urged to meet with the Declarant as early as possible to assist in the Applicant's decision to build in Pinnacle Prairie.

II. SUBMITTAL

Applicant shall submit a master set of development plans to the Declarant of Pinnacle Prairie. The submittal for development within the Prairie Business Park and Prairie Commercial District shall

include one full size set of plans and one electronic copy of the following documents:

1. Architectural Elements:
 - a. Design drawings of front, side and rear elevations of buildings
 - b. Description/Illustrations of representative exterior building materials/manufacturers
 - c. Product brochures/collateral of front, side and rear elevations' materials
2. Site Plan including:
 - a. Building and parking area locations
 - b. Walks
 - c. Setbacks
 - d. Type and location of light poles
 - e. Dumpster locations and screening
3. Landscape Plan including:
 - a. Location of buildings, parking areas, walks and any other paved surfaces
 - b. Quantity and location of required trees, shrubs, perennials, groundcovers and turf
 - c. Ground contours
 - d. Point tabulation based on City of Cedar Falls point system

The submittal for development within The Villages or Western Home shall consist of one full size set of plans and one electronic copy of the following documents:

1. Preliminary Plat including:
 - a. Street layout

- b. Lots
 - c. Setbacks
 - d. Common areas
 - e. Walks and bike paths
2. Landscape Plan including:
 - a. Location of buildings or lots, parking areas, walks and other paved surfaces
 - b. Quantity and locations of proposed trees, shrubs, perennials, groundcovers, and turf
 - c. Ground contours
 3. Copy of proposed Covenants, Conditions and Restrictions

Note: Architectural construction documents are not required for pre-permit design approval.

III. REVIEW AND EVALUATION

Within 14 calendar days of receipt, the Declarant shall evaluate the applicant's plans for conformance to the Pinnacle Prairie Design Guidelines and return one original package with an approval status together with any deficiencies so noted on the documents. The approval status may be any one of the following:

- Approved as submitted, no resubmittal required.
- Approved as noted, no resubmittal required. (In this case, specific elements that are deemed deficient will be identified. Provided the noted deficiencies are addressed in the permit submittal, the plans will be approved for permit.)
- Approved as noted, resubmittal is required. (In

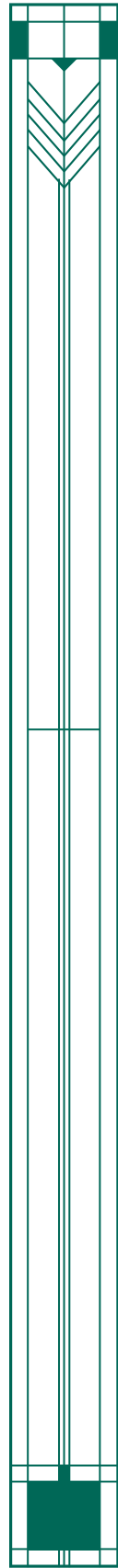
this case, specific elements that are deemed deficient will be identified so that they may be addressed and verified in the subsequent resubmittal.)

- Rejected, resubmittal is required. (In this case, specific elements that are deemed deficient will be identified so that they may be addressed and verified in the subsequent resubmittal.)

Notwithstanding the forgoing, the Declarant shall have final discretion to deviate from these guidelines to take into account the use, building lines, topography of the lot, access points, etc.

IV. CITY APPROVAL

Once the Applicant's plans have been approved by the Declarant, no further design approval from the Declarant shall be required. The Applicant may proceed through the typical City of Cedar Falls development approval process. The City of Cedar Falls will review the submitted plans for conformance to the City's codes and ordinances. The City will be responsible to enforce zoning standards, setbacks, building construction and codes, and minimum landscape standards. All architectural, landscaping and site plans shall be at the discretion of the Declarant.



1. *Quercus macrocarpa* - Bur Oak
2. *Acer saccharum* - Sugar Maple
3. *Tilia cordata* - Littleleaf Linden
4. *Ulmus x sp.* - Disease-Resistant Elm
5. *Quercus alba* - White Oak
6. *Gleditsia triacanthos* - Honeylocust
7. *Carya ovata* - Shagbark Hickory
8. *Pseudotsuga menziesii* - Douglas Fir
9. *Pinus strobus* - Eastern White Pine



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DECIDUOUS TREES

Street trees: all streets will have parkway trees at 40' on center and minimum 2.5" caliper size.

Shade trees: shall be 2.5"- 4" cal. with no more than 50% of the trees in any one caliper size.

Plant Palette:

- Acer x fremanii* - Freeman Maple cultivars
- Acer saccharum* - Sugar Maple
- Carya ovata* - Shagbark Hickory
- Celtis occidentalis* - Common Hackberry
- Gleditsia triacanthos* - Honeylocust
- Gymnocladus dioicus* - Kentucky Coffeetree
- Juglans nigra* - Black Walnut
- Quercus alba* - White Oak
- Quercus bicolor* - Swamp White Oak
- Quercus macrocarpa* - Bur Oak
- Quercus rubra* - Red Oak
- Platanus x acerifolia* - London Planetree
- Populus tremuloides* - Quaking Aspen
- Tilia americana* - American Linden
- Tilia cordata* - Littleleaf Linden
- Ulmus x sp.* - Disease-resistant Elm

EVERGREEN TREES / SHRUBS

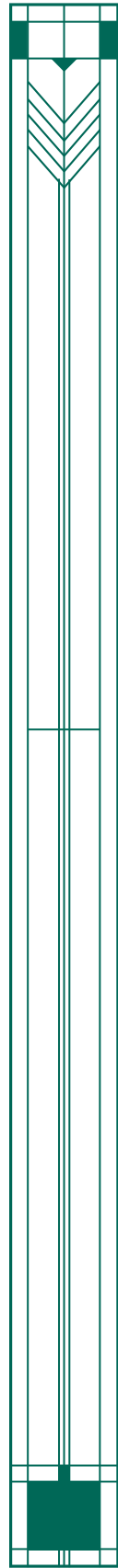
Evergreen trees/shrubs:

Evergreen trees shall be a mix of 6'-10' in height at time of installation with more than 50% of any one size. Shrubs shall be a minimum of 30" in height or spread depending on species.

Plant Palette:

- Juniperus communis sp.* - Common Juniper cultivars
- Juniperus virginiana* - Eastern Red Cedar
- Juniperus chinensis sp.* - Chinese Juniper
- Picea glauca* - Black Hills Spruce
- Picea pungens* - Colorado Spruce
- Pinus strobus* - White Pine
- Pinus nigra* - Austrian Pine
- Pseudotsuga menziesii* - Douglas Fir
- Thuja occidentalis* - Eastern Arborvitae





1. *Aronia arbutifolia* - Red Chokeberry
2. *Viburnum trilobum* - American Cranberry Viburnum
3. *Cornus racemosa* - Gray Dogwood
4. *Hamamelis virginiana* - Common Witchhazel
5. *Amelanchier canadensis* - Shadblow Serviceberry
6. *Cercis canadensis* - Eastern Redbud
7. *Euonymus alatus* - Burning Bush
8. *Rhus aromatica* - Gro-Low Sumac
9. *Syringa meyeri 'Palibin'* - Dwarf Korean Lilac



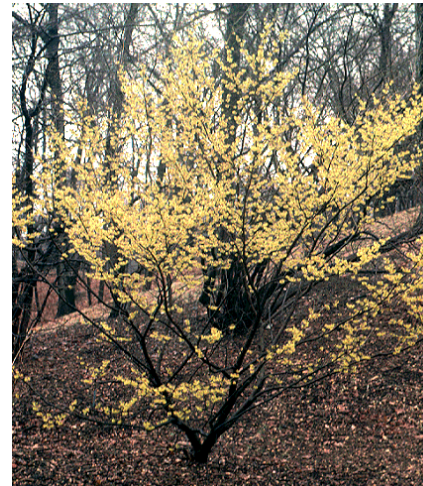
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ORNAMENTAL TREES

Ornamental trees shall vary in height from 6'-10' and generally be used in multi-stem form.

Plant Palette:

- Acer ginnala* - Amur Maple
- Alnus glutinosa* - Black Alder
- Amelanchier canadensis* - Shadblow Serviceberry
- Betula Nigra* - River Birch
- Betula papyrifera* - Paper Birch
- Carpinus caroliniana* - American Hornbeam
- Cercis canadensis* - Eastern Redbud
- Crataegus crus-gali var. inermis* - Thornless Cockspur Hawthorn
- Hamamelis virginiana* - Common Witchhazel
- Malus sp.* - Flowering Crabapple cultivars
- Ostrya virginiana* - American Hophornbeam
- Prunus americana* - American Plum
- Prunus serotina* - Black Cherry
- Viburnum prunifolium* - Blackhaw Viburnum

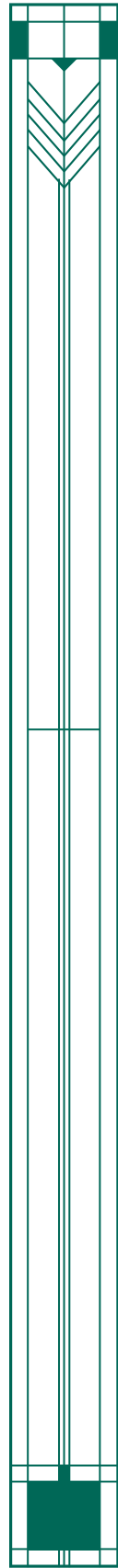
DECIDUOUS SHRUBS

Shrubs shall be a minimum 24" in height at time of planting.

Plant Palette:

- Aronia arbutifolia* - Red Chokeberry
- Cornus alternifolia* - Pagoda Dogwood
- Cornus sericea* - Redtwig Dogwood cultivars
- Cornus racemosa* - Gray Dogwood
- Diervilla lonicera* - Dwarf Bush Honeysuckle
- Euonymus alatus* - Burning Bush
- Ilex verticillata* - Winterberry
- Myrica pennsylvanica* - Northern Bayberry
- Physocarpus opulifolius* - Common Ninebark
- Rhus aromatica* - Gro-Low Sumac
- Rhus glabra* - Smooth Sumac
- Rhus typhina* - Staghorn Sumac
- Rosa spp.* - Shrub Rose cultivars
- Spirea japonica sp.* - Spirea
- Symphoricarpus albus* - Snowberry
- Symphoricarpus orbiculatus* - Indiangrant Coralberry
- Syringa meyeri 'Palibin'* - Dwarf Korean Lilac
- Viburnum dentatum* - Arrowwood Viburnum
- Viburnum trilobum* - American Cranberry Viburnum





1. *Liatris pycnostachy* - Prairie Blazing Star
2. *Echinacea purpurea* - Purple Coneflower
3. *Heuchera micrantha* 'Palace Purple' - Palace Purple Coral Bells
4. *Leucanthemum 'Becky'* - Becky Shasta Daisy
5. *Equisetum hyemale* - Scouringrush
6. *Andropogon gerardii* - Big Bluestem
7. *Panicum virgatum* - Switch Grass
8. *Sedum spectabile 'Neon'* - Neon Sedum
9. *Rudbeckia hirta* - Black Eyed Susan



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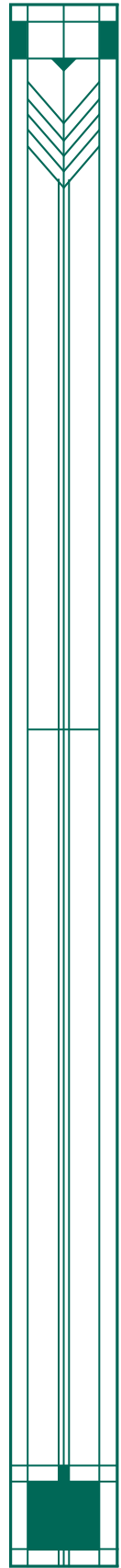
PERENNIALS / GRASSES
 These are the preferred plant for the landscape, as they require little maintenance or irrigation. Plantings shall be minimum of 1/2 gallon containers at time of installation and spaced 18" on center. Mulch to be shredded hardwood bark mulch no more than 2" in depth.

Plant Palette:

- Acorus calamus* - Sweet Flag
- Aquilegia canadensis* - American Columbine
- Andropogon gerardii* - Big Bluestem
- Andropogon scoparius* - Little Bluestem
- Asclepias incarnata* - Swamp Milkweed
- Aster novae-angliae* - New England Aster
- Baptisia sp.* - False Indigo
- Bouteloua curtipendula* - Sideoats Grama
- Calamagrostis acutifolia 'Karl Foerster'* - Karl Foerster Grass
- Calamagrostis canadensis* - Blue Joint Grass
- Carex species* - Sedges
- Coreopsis sp.* - Coreopsis
- Echinacea pallida* - Pale Purple Coneflower
- Echinacea purpurea* - Purple Coneflower
- Equisetum hyemale* - Scouringrush
- Filipendula rubra* - Queen of the Prairie
- Hemerocallis sp.* - Daylily

- Heuchera micrantha 'Palace Purple'* - Palace Purple Coral Bells
- Iris virginica var. shrevei* - Wild Blue Flag Iris
- Leucanthemum 'Becky'* - Becky Shasta Daisy
- Liatris pycnostachya* - Prairie Blazing Star
- Lobelia siphilitica* - Brat Blue Lobelia
- Miscanthus sinensis 'Purpurascens'* - Purple Flame Grass
- Nepeta racemosa* - Walker's Low Catmint
- Panicum virgatum* - Switch Grass
- Physostegia virginiana* - Obedient Plant cultivars
- Ratibida pinnata* - Yellow Coneflower
- Rudbeckia hirta* - Black-eyed Susan
- Scirpus species* - Bulrushes
- Sedum spectabile 'Neon'* - Neon Sedum
- Silphium laciniatum* - Compass Plant
- Silphium terebinthinaceum* - Prairie Dock
- Solidago species* - Goldenrod
- Sorghastrum nutans* - Indian Grass
- Sporobolus heterolepis* - Prairie Dropseed
- Uniola latifolia* - Northern Sea Oats
- Verbena hastata* - Blue Vervain





PINNACLE PRAIRIE

Cedar Falls, Iowa

Owner:



Master Developer:



4501 Prairie Parkway
Cedar Falls, IA 50613
Phone 319.277.8000
Fax 319.277.8080

23

Land Planner / Landscape Architecture:

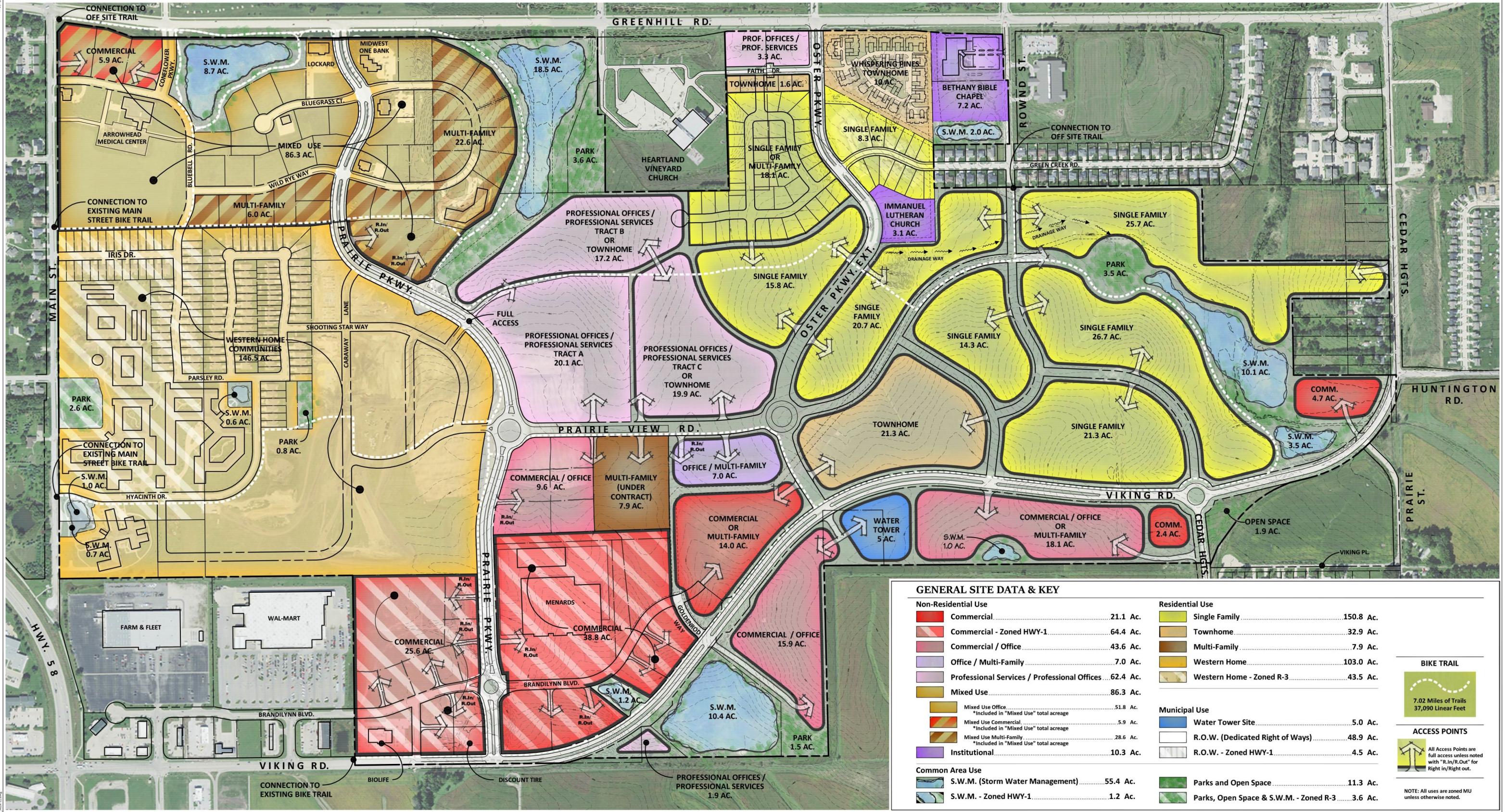


Schoppe Design Associates, Inc.

LAND PLANNING & LANDSCAPE ARCHITECTURE
126 S. Main Street
Oswego, IL 60543
Phone 630.551.3355
www.schoppedesign.net

Date:
March 8, 2021





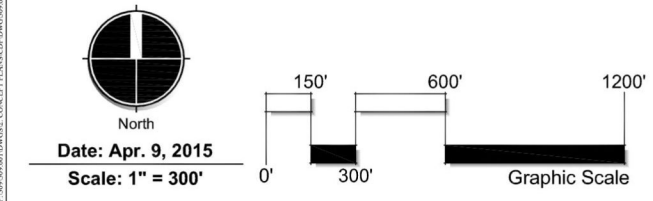
GENERAL SITE DATA & KEY

Non-Residential Use		Residential Use	
Commercial	21.1 Ac.	Single Family	150.8 Ac.
Commercial - Zoned HWY-1	64.4 Ac.	Townhome	32.9 Ac.
Commercial / Office	43.6 Ac.	Multi-Family	7.9 Ac.
Office / Multi-Family	7.0 Ac.	Western Home	103.0 Ac.
Professional Services / Professional Offices	62.4 Ac.	Western Home - Zoned R-3	43.5 Ac.
Mixed Use	86.3 Ac.		
Mixed Use Office	51.8 Ac.		
Mixed Use Commercial	5.9 Ac.		
Mixed Use Multi-Family	28.6 Ac.		
Institutional	10.3 Ac.		
Common Area Use		Municipal Use	
S.W.M. (Storm Water Management)	55.4 Ac.	Water Tower Site	5.0 Ac.
S.W.M. - Zoned HWY-1	1.2 Ac.	R.O.W. (Dedicated Right of Ways)	48.9 Ac.
		R.O.W. - Zoned HWY-1	4.5 Ac.
		Parks and Open Space	11.3 Ac.
		Parks, Open Space & S.W.M. - Zoned R-3	3.6 Ac.

BIKE TRAIL
7.02 Miles of Trails
37,090 Linear Feet

ACCESS POINTS
All Access Points are full access unless noted with "R.In/R.Out" for Right in/Right out.

NOTE: All uses are zoned MU unless otherwise noted.



MASTER PLAN

LOCKARD
4501 Prairie Parkway, Cedar Falls, IA 50613
(319) 277-8000

Oster Partners

sda
Schoppe Design Associates, Inc.
LAND PLANNING & LANDSCAPE ARCHITECTURE

126 S. Main Street
Oswego, IL 60543
p: 630 551-33
f: 630 551-36
schoppedesign.r



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
 220 Clay Street
 Cedar Falls, Iowa 50613
 Phone: 319-273-8606
 Fax: 319-273-8610
www.cedarfalls.com

MEMORANDUM

Planning & Community Services Division

TO: Planning & Zoning Commission

FROM: Karen Howard, AICP, Planning & Community Services Manager

DATE: April 9, 2021

SUBJECT: Zoning Map and Text Amendments - Downtown Character District Code and Regulating Plan

A public review draft of a new zoning code and zoning map for the Downtown Character District were presented during a special virtual Cedar Falls Planning and Zoning Commission meeting on February 17, 2021. Since that time, the proposed code and regulating plan map have been available for public review and comment on the project webpage: www.ourcedarfalls.com. Over the last two months, consultants and staff have met virtually with the Planning and Zoning Commission at four special work sessions to discuss the various elements of the proposed code and regulating plan and answer questions from the Commission. Staff also provided opportunities for work session discussions with development professionals and with Community Main Street, and encouraged the public to view and submit questions or comments to the Planning Division. All property owners in the area and within 200 feet were notified by mail of the public hearing date and provided within instructions on how to participate in the hearing. Notice was also published in the Courier.

Public input is invited at the public hearing on April 14, 2021. Consultants from Ferrell Madden and staff have prepared a decision matrix that lists all of the specific requests for changes from the Commission and from the public through correspondence received to date (see attached). It also includes a number of technical fixes to the draft that have been identified by staff and the consultants. Any additional changes requested at the public hearing will be added to the matrix for the Commission's consideration at your next meeting on April 28th. After public input is heard on April 14, staff will walk the Commission through each of the items on the matrix attached to this memo, so the Commission can provide direction. The public hearing can remain open for as many meetings as necessary to make final decisions on amendments until the Commission is satisfied that the draft is ready to forward to the City Council for their consideration.

The updated zoning regulations are an important step in implementing the *Imagine Downtown! Vision Plan*, which was adopted by the Cedar Falls City Council in November 2019. The plan was the result of public workshops and other public outreach events that took place in 2019, where community members were invited to share their feedback and ideas for the future of Downtown and surrounding neighborhoods. The adoption of new zoning regulations will encourage development that is consistent with the community's vision.

RECOMMENDATION: Staff recommends that the Commission hear public testimony and provide direction on the amendments to the draft code and regulating plan identified in the decision matrix and continue the public hearing to the next meeting.

PROPOSED AMENDMENTS TO THE PUBLIC REVIEW DRAFT OF THE DOWNTOWN ZONING CODE

26-193 – Building Form Standards

	Proposed Amendment	Explanatory Notes	Consultant/Staff Recommendation	P&Z Discussion (Date)	P&Z Decision
1	Requestor: Consultant/staff Change Building Form Standards (BFS) Section 193.5 Neighborhood Small Frontage B. Placement 4. Buildable Area to allow Private Open Area to be above grade for lots with less than 70 ft of depth.	Technical Fix: This better accommodates rowhouses on especially shallow lots (such as many of the lots along 2 nd Street, as shown in the Vision Plan) with their 66ft width/depth. This will make Neighborhood Small consistent with Neighborhood Medium.	Consultant/staff are in support of this amendment.	Commission directed staff to ...	Amendment Approved (vote tally); or No change recommended
2	Requestor: Consultant/staff Change Required Building Line (RBL) on the Downtown Regulating Plan, on the north side of W 2 nd St. from Franklin St. to the western border of the District. The RBL should be moved forward an additional 5ft, from 15ft to 10ft off the front property line.	Technical Fix: This is for consistency with the RBL to the east of Franklin (Urban General 2) and better accommodates rowhouses fronting 2 nd Street (as shown in the Vision Plan) within the shallower (66ft) depth of many of those lots. This keeps the building form and scale consistent with the Neighborhood Small designation, but allows room for both parking and for usable ground floor space within the buildings.	Consultant/staff are in support of this amendment to the Downtown Character District Regulating Plan.	Commission directed staff to ...	Amendment Approved (vote tally); or No change recommended
3	Requestor: Staff a) Insure consistency of terms between new proposed Section 26-140. Use-Specific Standards, Category Descriptions, and Definitions and proposed Section 26-197. Building Functions; b) Clarify language in Character District Use Table introductory paragraph concerning additional standards that apply	Technical Fix: a) Because drafting was an iterative process, additional revisions were made to Section 26-140, Use Classification, after the public review draft of Downtown Character District Code (Section 26-197) was released. This is a simple clean-up to make sure terms are internally consistent. Also to correct the Code Section number of the Use Classification to Sec. 26-140 (not 26-132). b) Make clear that additional development and performance standards apply above and beyond the broad permitted use categories.	Consultant/staff are in support of these amendments	Commission directed staff to ...	Amendment Approved (vote tally); or No change recommended

<p>4</p>	<p>Requestor: Staff Correct outline format, as needed</p>	<p>Technical Fix: Some outline numbers are out of sequence and need correction</p>	<p>Consultant/staff are in support of this amendment</p>	<p>Commission directed staff to ...</p>	<p>Amendment Approved (vote tally); or No change recommended</p>
<p>5</p>	<p>Requestor: Historical Society and Planning Staff Add Civic Building designations to Regulating Plan</p>	<p>Technical Fix: The Cedar Falls Woman’s Club and Cedar Falls Historical Society Victorian House Museum and Museum Buildings in Sturgis Park should be identified as Civic Buildings.</p>	<p>Consultant/staff are in support of this amendment</p>	<p>Commission directed staff to ...</p>	<p>Amendment Approved (vote tally); or No change recommended</p>
<p>6</p>	<p>Requestor: Consultant/Staff Change to Section 26-140. Use-Specific Standards, Category Descriptions, and Definitions for clarity, etc.</p>	<p>Technical Fix: Clarification concerning categorization of commercial assembly uses as large or small based on size and the other classification criteria in Section 26-140(a)(3) This will help in classifying uses appropriately in different zoning districts. Examples include small commercial assembly uses, such as theaters that fit into a main street area, like the Oster Regent Theater downtown versus large commercial assembly uses, such as a large metroplex theater complex located in a suburban shopping center.</p>	<p>Consultant/staff are in support of this amendment</p>	<p>Commission directed staff to ...</p>	<p>Amendment Approved (vote tally); or No change recommended</p>

<p>7</p>	<p>Requestor: P&Z Member Larson</p> <p>Change the Regulating Plan designated building frontage on west side of Overman Park from Neighborhood Small to Urban General 2 to accommodate existing businesses located in buildings along Franklin Street;</p> <p>or alternatively:</p> <p>Requestor: Tom and Dorinda Pounds They own a house on Franklin Street that was converted to office space for their business. They want assurance their business can continue, but also have maintained many of the historic residential features of the home, so it could be converted back to residential use in the future, if desired.</p> <p>They would like an approach to better accommodate existing businesses, while maintaining the residential character and scale of the area</p>	<p>As drafted, all existing businesses can remain as non-conforming uses. The new code requires no changes unless/until the owner makes a significant change to their business or building, at which time the standards identified in Section 26-38 Proportionate Compliance would apply, based on the [level/degree] of proposed change.</p> <p>The intent of the proposed limitations on new businesses in the Neighborhood frontage areas is to encourage their concentration in the core of Downtown for the synergy it creates and to stabilize and encourage reinvestment in the surrounding residential areas and preservation of the historic character of these areas.</p> <p>Options for change:</p> <p>Option 1: Change the regulating plan along west side of Franklin Street to Urban General 2.</p> <p>Pro: Insure existing business are not made non-conforming</p> <p>Con: Change in building frontage designation affects more than use; it would also change the physical scale and character of permitted new buildings, potentially incentivizing the demolition of other houses in the neighborhood. This could potential affect the historic residential character along Franklin Street. Most businesses are located within existing residential structures.</p> <p>Option 2: Language could be added to state that all existing businesses at the time of code adoption are considered conforming, so can continue and even expand, but that no new businesses are permitted in the Neighborhood frontages. This is a similar approach we took for manufacturing businesses on the far east side of the study area.</p>	<p>Consultant/staff are in support of Option 2, as it achieves the goal of keeping existing businesses conforming, but doesn't have the unintended consequences noted with Option 1.</p>	<p>Commission directed staff to ...</p>	<p>Amendment Approved (vote tally); or</p> <p>No change recommended</p>
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<p>8</p>	<p>Requestor: P & Z Chair: Include a design review process/role for P&Z</p>	<p>Commission expressed concern that it is difficult to legislate good design and that some additional design guidance may be needed, at least for some projects; and this process should be conducted through a public review process at P&Z and/or Council.</p> <p>Pros: Provides for more public scrutiny of development projects in the downtown area. Provides additional reassurance that a project will be consistent with the vision for downtown.</p> <p>Cons: One of the goals of the Downtown Zoning Code update was to streamline the development review process and move toward by-right approvals for those projects that meet a set of objective form-based standards. The benefits of this approach are to a) provide a greater level of predictability for property owners, developers, and neighbors; b) move away from the time and expense of negotiating individual projects in the Downtown district, particularly if it requires project redesign or additional legal fees; and c) remove the subjectivity of the public review process, where individual opinions can cause projects that otherwise meet the standards to be redesigned adding cost to the project.</p> <p>From a fairness and equity standpoint, it can also give undue influence to particularly persuasive or well-connected applicants or to those who may simply want to prevent development from occurring.</p> <p>The purpose of establishing the staff Zoning Review Committee is to ensure that development projects meet the adopted standards, but also to assist applicants in their understanding of the intent of the provisions of the code, so they can achieve a more cohesive design, so in essence will serve as an administrative design review.</p>	<p>Consultants/staff do not recommend adopting a public design review process at this time.</p> <p>If a majority of the Commission would still like to move forward with a public design review process, the consultants and staff will continue to work to determine a workable approach.</p>	<p>Commission directed staff to ...</p>	<p>Amendment Approved (vote tally); or</p> <p>No change recommended</p>
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<p>9</p>	<p>Requestor: Kevin Harberts (owns two residential properties along 2nd Street).</p> <p>Change the Regulating Plan so that the General Urban frontage designation goes from the 1st Street frontage to 2nd Street frontage</p> <p>The requestor would like the option to create larger through lots for commercial uses that extend the full depth of the block from 1st to 2nd Street.</p>	<p>The regulating plan designations between 1st and 2nd Street are already set up to provide more lot depth for Urban General along 1st Street to accommodate the larger footprint of many commercial buildings, leaving a shallower depth for the neighborhood frontage designation along 2nd Street, which can accommodate smaller footprint residential building types, such as rowhouses.</p> <p>Pros and Cons of making this change:</p> <p>Pro: Uniform building form standards for the entire parcel (with considerably more buildable area)</p> <p>Con: This would undermine the scale transition from the higher intensity, mixed-use 1st Street down to the less intense Overman Park neighborhood to the south.</p> <p>The code provides considerable flexibility for parcels with more than one frontage designation to shift the frontage designation to accommodate specific needs of the development. However, it is important for the buildings along both sides of 2nd Street to relate to one another, rather than having residential buildings facing the backs of 1st Street businesses. The regulating plan designations ensure buildings of similar scale and character along both sides of a street.</p>	<p>Consultant/staff are <u>not</u> in support of this amendment.</p> <p>The regulating plan already establishes Urban General deeper into the block (from north to south) and leaves a rather shallow area along 2nd Street that will accommodate residential building forms, such as townhomes, as shown in the <i>Imagine Downtown! Vision Plan</i>.</p>	<p>Commission directed staff to ...</p>	<p>Amendment Approved (vote tally); or</p> <p>No change recommended</p>
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<p>10</p>	<p>Requestor: Planning & Zoning Commission and questions from several members of the public.</p> <p>Consider the inclusion of vinyl siding as an approved wall material in Neighborhood Frontages</p>	<p>There is concern that prohibiting vinyl siding in the Neighborhood Frontages could be cost prohibitive and encourage disinvestment in existing residential properties.</p> <p>The intent of the proposed prohibition was to promote more durable and environmentally sustainable building materials. (The issue is not one of aesthetics).</p> <p>Pro: Reduce the up-front cost of building construction and maintenance</p> <p>Con: Higher long-term costs for maintenance and upkeep; concerns related to durability and fire-resistance; environmental impacts of PVC, i.e. produces toxic smoke when it burns and melts at a fairly low temperature; damaged or melted siding often ends up in the landfill and is not biodegradable. While it is possible to recycle it, there are often issues of contamination from dirt, nails, and mixed-in aluminum flashing. In contrast, wood, brick or stone have a life cycle of more than 100 years. The life span of vinyl is 15 to 20 years before it becomes brittle from ultraviolet light and is easily damaged.</p> <p>If change to the ordinance is desired, following are some options:</p> <ol style="list-style-type: none"> 1. Maintain the prohibition of vinyl siding for new construction. 2. Permit the use of vinyl siding to replace or repair existing vinyl siding. 3. Permit use of vinyl siding that meets higher minimum standards for quality, maintenance, and durability, based on industry standards to replace or cover over other types of siding on existing single family dwellings. 4. Delete the prohibition on vinyl siding from the code altogether, so it would be allowed on all existing and new buildings in the Neighborhood Frontages. 	<p>Consultant/staff are particularly concerned about the long term consequences of allowing vinyl siding related to the noted environmental concerns, so recommend prohibiting vinyl siding for new construction.</p> <p>With regard to the second bullet point, the current draft already allows replacement of like material with like material for maintenance purposes. Consultant/staff would be in support of adding some additional language to make sure this is clear.</p> <p>Consultant/staff are <u>not</u> supportive of allowing vinyl siding to replace existing environmentally sustainable building materials, such as wood, stone, or brick. We feel that the long term costs outweigh the short term savings.</p> <p>Consultant/staff strongly recommend against listing vinyl siding as a generally allowed building material.</p>	<p>Commission directed staff to ...</p>	<p>Amendment Approved (vote tally); or</p> <p>No change recommended</p>
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<p>11</p>	<p>Requestor: Jesse Lizer, Emergent Architects</p> <p>Permit the use of higher quality foam products for architectural detailing</p>	<p>There is concern that the prohibition of “all other foam-based products” in Sec. 26-194.C.5. would limit options for restoration of historic buildings. That was never the intent of this prohibition, but rather to limit the use of flimsy, easily damaged building materials, particularly at the street level. Potential change:</p> <ul style="list-style-type: none"> • Delete “all other foam-based products” from the prohibited list and add a new item to the secondary materials list in Sec. 26-194.C.4. as follows: “Durable foam-based products, such as Fypon, may be used for architectural detailing.” 	<p>Consultant/staff are in support of this amendment,</p>	<p>Commission directed staff to ...</p>	<p>Amendment Approved (vote tally); or</p> <p>No change recommended</p>
<p>12</p>	<p>Requestor: Staff</p> <p>Provide more direction for ADUs</p>	<p>Concern that there is insufficient enforceability of owner-occupancy requirement following the development of an ADU. Consider including a requirement for an affidavit/legal agreement with the City in Sec. 26-193.1.G (p.24) to be filed and recorded, so that it is clear to future owners or prospective buyers that the dwelling is not considered a duplex, so that the limits on size and occupancy for ADUs continue to be enforceable over time.</p> <p>The allowance for ADUs is intended to make home ownership more affordable and encourage investment and reinvestment that will help stabilize existing older neighborhoods surrounding downtown.</p>	<p>Consultant/staff are in support of this amendment.</p>	<p>Commission directed staff to ...</p>	<p>Amendment Approved (vote tally); or</p> <p>No change recommended</p>

13	<p>Requestor: Staff</p> <p>Prohibit conversion of existing single unit dwellings into duplexes or multi-unit dwellings.</p>	<p>The new code opens up the possibility for new types of housing, but in a manner that ensures that new housing fits into the context of the neighborhood with quality design and a logical configuration of the dwelling units. However, the new standards and allowances are not intended to encourage existing single unit dwellings to be chopped up into additional units in a manner that reduces the functionality and livability of the dwelling and makes it less desirable for those seeking a long term rental opportunity or homeownership. As is often experienced in college towns this is a common practice to provide short term rentals for college students by converting living rooms, dining rooms, and other spaces to maximize the number of bedrooms. While providing rental housing for students is important, this particular practice often creates units that are not very conducive to long term renters and cannot be easily or cost-effectively adapted or converted back to the original condition in response to market fluctuations, such as a drop in enrollment.</p> <p>Staff notes that making this change will keep the new code consistent with the City's current conversion prohibition in the R1 and R2 Districts.</p>	Staff is in support of this change.		
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DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
 220 Clay Street
 Cedar Falls, Iowa 50613
 Phone: 319-273-8600
 Fax: 319-273-8610
 www.cedarfalls.com

MEMORANDUM

Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Jaydevsinh Atodaria (JD), City Planner I
DATE: April 8, 2021
SUBJECT: Temporary Wheat-Pasting Murals in Downtown for UNI Graduate Student Project

REQUEST: Request to approve a Design Review Site Plan for multiple temporary mural installations in the Central Business District (Project #DR20-003)

PETITIONER: UNI Graduate Student / Isaac Campbell, Communication and Media Dept.

LOCATION: Multiple locations in Downtown CF

PROPOSAL

The City has received a request for a Central Business District design review to allow the installation of temporary wheat-pasted murals at 14 different locations in the Central Business District Overlay Zoning District, as per the attached proposal. The project intends to publicly celebrate the master's thesis of UNI Graduate student which focuses on putting life-sized murals featuring historic family images from the Fortepan Iowa photo archive. The Aim of the project is to explore how memories of our shared past can help us discover what "getting back together" in a post-COVID-19 world might look like. As noted in the attached request, UNI Graduate student Isaac Campbell is proposing to add these murals in Downtown Cedar Falls as the creative component of his Master's thesis: Cultural Memory, Family Snapshots, and Ephemeral Street Art. a team of UNI students, led by Interactive Digital Studies professor Bettina Fabos, have created a series of seven portraits retrofitted with graduation caps and gold graduation tassels. These images would be wheat-pasted on 14 different locations as per the submitted map and renderings.

The murals are made of a biodegradable, non-destructive art form called wheat-pasting, which adheres to large prints of paper to the exterior facades of buildings. These installations do not permanently alter the façades of the building and can be removed by power washing.

BACKGROUND

Similar mural installations were installed in 2019 and 2020 within the College Hill Neighborhood Overlay Zoning District. It was well-received in the community and brought interest to the College Hill Business District. The proposed series of mural installations ARE a part of the graduate student creative component which is titled "Cultural Memory, Family Snapshots, and

Ephemeral Street Art”. The goal of this outdoor exhibition is to explore togetherness in the community, provide practical experience for art education and more importantly invite visitors and residents to downtown to explore the area.

ANALYSIS

Staff notes that this proposal is for a temporary installation of public art, it is worthy of Planning & Zoning Commission discussion and recommendation. The locations are all within the Central Business Overlay Zoning District, which requires a review of murals by the Planning & Zoning Commission and the City Council.

The applicable section 26-189 (I) (10) of the Central Business District review standards for the exterior mural wall drawings, painted artwork, exterior painting, states in relevant part, “ *These elements shall be reviewed to consider the scale, context, coloration and appropriateness of the proposal in relation to nearby facades and also in relation to the prevailing character of the downtown area. Exterior painting of detached single-unit and two-unit residential structures within the district shall be exempt from this provision. Other multi-unit dwelling structures will be subject to this review.*”

The proposed installation will be placed at the identified 14 locations in downtown Cedar Falls. All the murals will be sourced from historic photographs from the Fortepan Iowa photo archive and the installations will be taking place between April 20th and May 10th, 2021, weather dependent. The proposal contains 26 images to be approved for mural locations; however, so far 14 locations have been included in the proposal. Both murals and the location proposed have been pre-approved by respective businesses/property owners. The proposed request also has been endorsed by Cedar Falls Community Main Street. The applicant suggests that the final locations and renderings will be presented to the City Council at their regular scheduled meeting on 19th April 2021. The location map and renderings of murals have been added to the packet as a supporting document for review. City Staff believes that this exhibition “getting back together” with mural installations downtown will be an enriching experience for the community. The proposal is an excellent example of public art used for community building. The wheat-pasting’s are consistent with the intent of the ordinance, given these images are not painted or otherwise permanently affixed to building facades and can be removed by power washing them off at any time deemed appropriate due to deterioration or for any other reason determined by the property owner. The applicant also states that a marketing collaboration is currently in development with Cedar Falls Community Main Street to include a guided walking tour and social media campaign inviting visitors for exhibition, which in turn will benefit the local business in downtown Cedar Falls.

STAFF RECOMMENDATION

The proposed facade plan meets all of the Central Business Overlay Zoning District and Zoning Ordinance requirements and would be a positive community-building effort to celebrate UNI graduating student Isaac Campbell’s Master thesis work. Staff recommends approval of the proposal for installation of wheat-pasted murals in the Central Business Overlay Zoning District. If approved by the Commission, the proposal would be considered by the City Council at their April 19th meeting. With Council approval, the installation of the murals would occur from April 20th, 2021 onwards as stated in the application.

PLANNING & ZONING COMMISSION

Discussion/Vote
4/14/2021

...getting back together

a public mural campaign • cedar falls • 2021

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29 March, 2021

FROM: Isaac Campbell, Graduate Student
Communications & Media Department, University of Northern Iowa
2009 University Drive, Apt G4
Cedar Falls, IA
icampbellm1@gmail.com
641-777-4308

TO: Karen Howard
City of Cedar Falls
planning@cedarfalls.com

letter of intent

Dear Karen Howard and the City of Cedar Falls:

I am writing on behalf of the University of Northern Iowa Graduate College and the Communication & Media Department to propose a series of temporary, biodegradable mural installations throughout the Cedar Falls Main Street district as the creative component of my Master's thesis: *Cultural Memory, Family Snapshots, and Ephemeral Street Art*. The murals will feature historic family images from the Fortepan Iowa photo archive. This project has been endorsed by the Cedar Falls Community Main Street organization and is funded by a Cedar Falls Community Betterment Grant and the Iowa Arts Council.

The goal of this outdoor exhibition is to explore *togetherness* in a variety of ways. After more than a year of quarantining, social distancing, and exhaustive restrictions that have left many feeling socially deprived, depressed, and craving the simplicity of togetherness, the murals will

visually and thematically explore moments of togetherness between Iowans - such as celebrations, birthdays, dining, vacations, and simple moments (we may have taken for granted pre-pandemic) of human connection. In addition to visual and thematic exploration, the proposed project will also promote togetherness in two ways. First, the collaborative nature of the murals will bring together volunteers to install the pieces throughout the Main Street district. Additionally, the murals will invite visitors and residents alike back to downtown Cedar Falls to explore the area and support local businesses. A marketing collaboration is currently in development with Cedar Falls Community Main Street to support this objective, including a guided walking tour and social media campaign encouraging visitors to take selfies with the installations. In all, this project aims to explore how memories of our shared past can help us discover what ...**getting back together** in a post COVID-19 world (one in desperate need of healing, community, and joy) might look like.

With prior permission from 14 building/business owners throughout the district (see page 06), I have created a series of potential sites & renderings (see page 08-21) for approval. Many of the business owners have expressed enthusiasm in participating in the image selection process; thus, renderings show potential images for the sites. Final images for murals will be derived from the collection of 26 images attached (see pages 8-22) for approval by the Planning & Zoning Commission and the City of Cedar Falls. Murals will be “life sized” (approximately human sized) with a few potential locations for “larger than life” sized murals. The project overview outlines detailed components of the murals themselves including a timeline, construction components, and the anticipated duration of the murals.

The installations will gain regional and statewide attention for the city and Cedar Falls Community Main Street as a variety of stories have been slated through the University of Northern Iowa and the Iowa Arts Council. In addition to my Master’s thesis, this exhibition will serve as practical experience for art education students and graduate students at UNI who will volunteer to install the murals; providing rich real-world experiences in public art and cultivating confidence in working with public channels to achieve success for community based projects.

Thank you for your consideration,

Sincerely,

Isaac Campbell

project overview

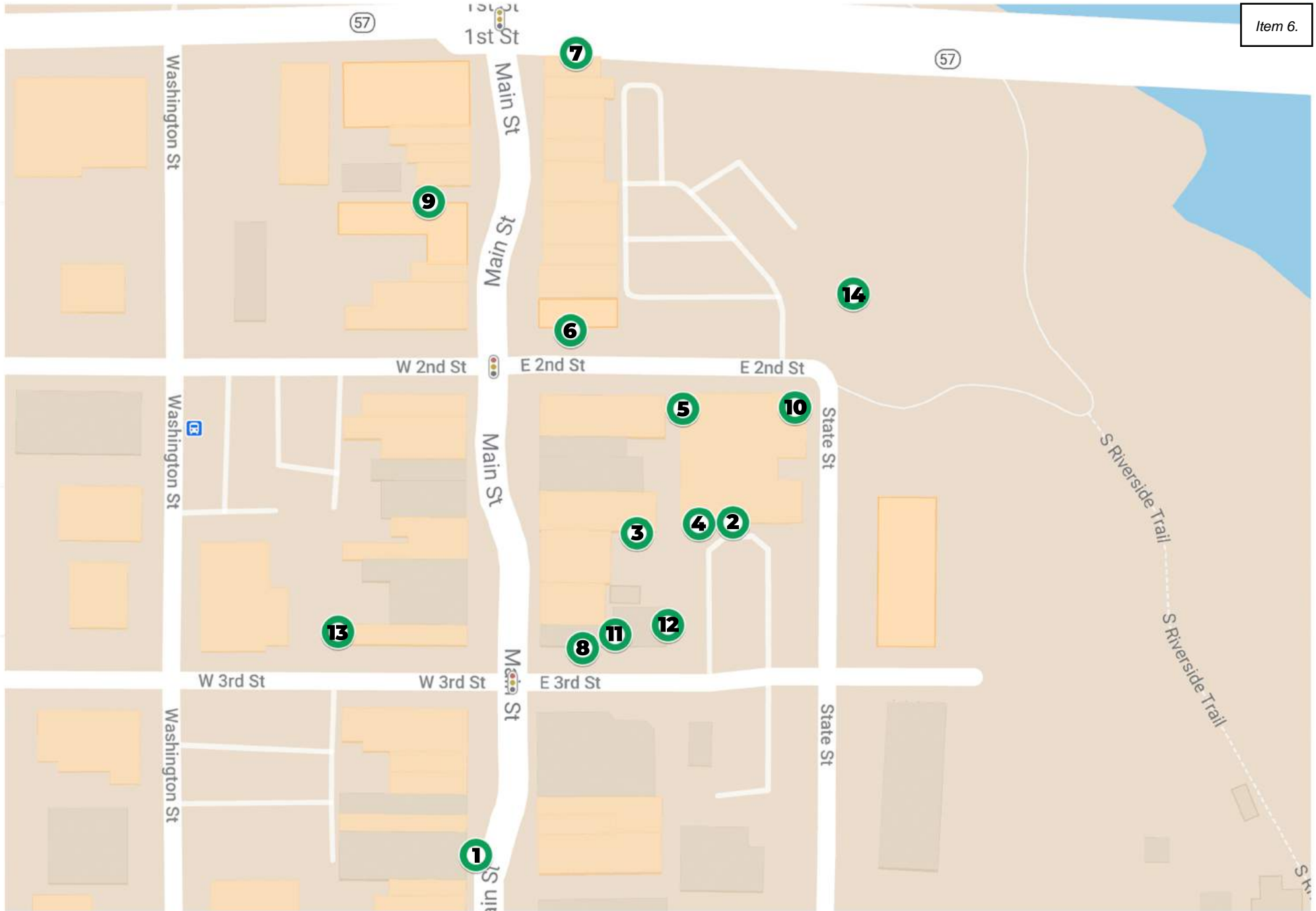
...**getting back together** is a community-based public mural campaign which aims to explore togetherness through temporary, pasted murals of historic photographs of Iowa life throughout the Main Street business district in Cedar Falls, Iowa. All of the murals will be sourced from historic photographs from the Fortepan Iowa photo archive; a public photo archive based at the University of Northern Iowa. Mural installation will take place between **April 20th, 2021 - May 10th, 2021**, weather dependent. In total, approximately 10 (with a maximum of 14) murals will be installed on various buildings throughout the Cedar Falls Main Street District. Murals will be installed by a team of UNI Graduate Students and community volunteers. This project has been endorsed by Cedar Falls Community Main Street.

- Each mural is made from biodegradable and water soluble materials, including: 20lb paper (printed) and paste (flour + water + sugar)
- Murals are intended to be ephemeral and temporary. Varying degrees of fading, tearing, and decomposition are anticipated. Business/building owners reserve the right to remove murals at their discretion; however it is the artist's intent that murals remain as long as possible. Murals are removed with water from a hose or gentle pressure washer.
- Mural duration varies based on a variety of components including: wall material, painted vs non-painted, direction of wall, exposure to sun, wind, and elements (rain). Previous duration of similar murals have ranged from 3 days to over 1 year. In the right conditions, some murals have been known to last 10+ years.
- In total, 14 locations have been included in this proposal and pre-approved for murals by their respective business/property owners. Of these locations, approximately 10 (with a maximum of 14) will be selected for mural installation following a rigorous testing period. During this period, test samples will be installed on facades to identify any unsuitable facades which may be prone to damage such as discoloration or paint chipping. Testing requires favorable weather and temperature conditions to be effective and will be completed at least two weeks before the scheduled mural installation dates. Facades prone to damage will be removed from consideration.
- This proposal contains 26 images to be approved for mural installation. Pending the final list of locations (after testing) images will be selected from the P&Z approved list, which contains images featured in renderings (15) and images in the appendix list (11). The artist reserves the right to make minor adjustments in size and the ability to change the photo/location combinations presented in this proposal. The set of final (tested) locations and renderings will be presented to the city council for the vote on **April 19, 2021**.

proposed locations

Site Number	Address	Primary Contact Name	Primary Contact Information
1	315 Main St	Natalie Brown	natalie@scratchcupcakery.com
2	209 State St	Mimi Rice	mricecypress@gmail.com
3	214 Main St*	Jon Laity	jlaity@copyworks.com
4	115 East 2nd St	Shaun Linderbaum	shaun@braceability.com
5	115 East 2nd St	Shaun Linderbaum	shaun@braceability.com
6	128 Main St	Dave Morgan	dave@singlespeedbrewing.com
7	102 Main St	Dawn Wilson	319-404-5468
8	226 Main St*	Gary Kelley	319-277-2330
9	115 Main St*	Deanna Nelson	deanna.nelson@eagleviewpartners.com
10	203 State St*	Nick Newgard	nick@secondstatebrewing.com
11	110 East 3rd St*	Jim & Jodi Landau	jdjllandau@gmail.com
12	222 Main St*	Jim & Jodi Landau	jdjllandau@gmail.com
13	223 Main St*	Pete Hill	319-240-2428
14	100 East 2nd St*	Deanna Nelson	deanna.nelson@eagleviewpartners.com

**denotes sites that are currently pending approval following the test period or that owners have indicated interest in being considered for a mural*



getting back together • map overview



IOWA ARTS COUNCIL
IOWA DEPARTMENT OF CULTURAL AFFAIRS



getting back together • location 01

315 Main St • 27.5' x 8' • FI0002978

Natalie Brown • natalie@scratchcupcakery.com



IOWA ARTS COUNCIL
IOWA DEPARTMENT OF CULTURAL AFFAIRS



getting back together • location 02

209 State St • 14' x 8' • FI0004017

Mimi Rice • mricecypress@gmail.com; Justeen Hill • justeen@teacellartea.com



IOWA ARTS COUNCIL
IOWA DEPARTMENT OF CULTURAL AFFAIRS



getting back together • location 03

214 Main St • 30' x 8' • FI0003139

Jon Laity • jlaity@copyworks.com; Clark Rickard • ciecfi@cfu.net



IOWA ARTS COUNCIL
 IOWA DEPARTMENT OF CULTURAL AFFAIRS



getting back together • location 04

115 East 2nd St • 18' x 8' • FI0007167

Shaun Linderbaum • shaun@braceability.com; Kramer Dixon • kramer@braceability.com



IOWA ARTS COUNCIL
 IOWA DEPARTMENT OF CULTURAL AFFAIRS



getting back together • location 05

115 East 2nd St • 15' x 9' • FI0004304

Shaun Linderbaum • shaun@braceability.com; Kramer Dixon • kramer@braceability.com



IOWA ARTS COUNCIL
IOWA DEPARTMENT OF CULTURAL AFFAIRS



getting back together • location 06

128 Main St • 28' x 8' • FI0001671

Dave Morgan • dave@singlespeedbrewing.com





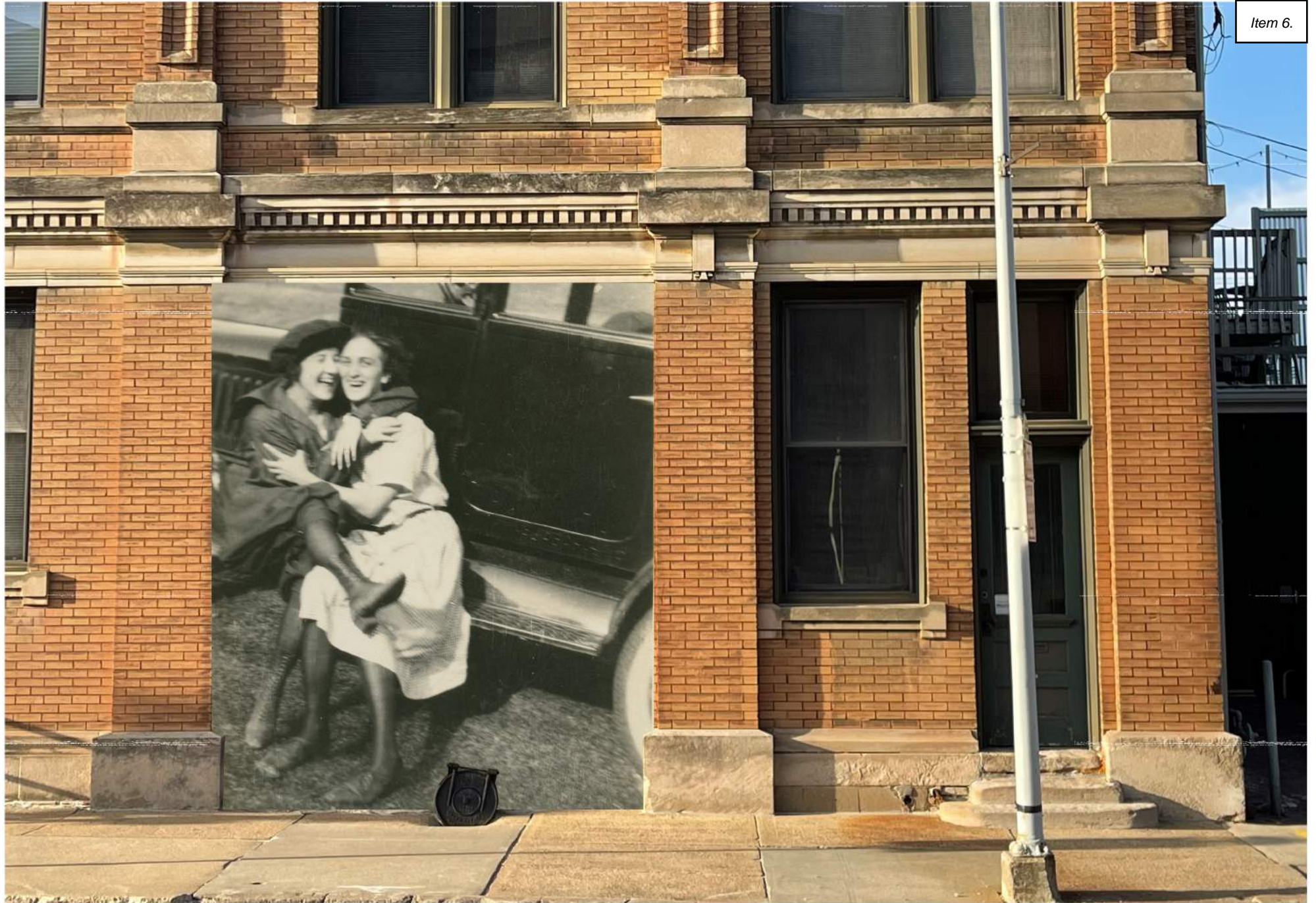
getting back together • location 07

102 Main St • 20' x 7' • FI0007617

Dawn Wilson • (319) - 404 - 5468



IOWA ARTS COUNCIL
IOWA DEPARTMENT OF CULTURAL AFFAIRS



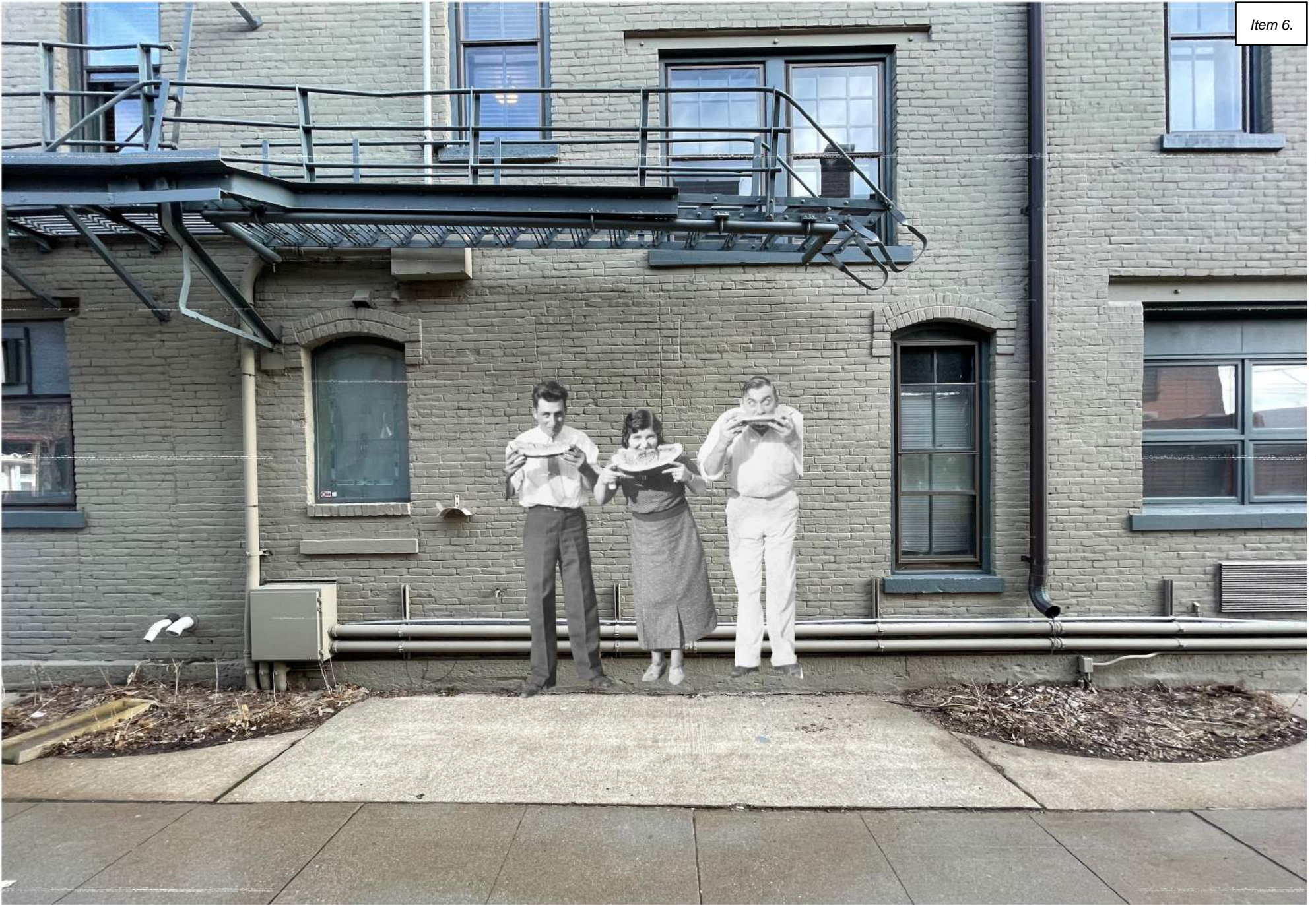
getting back together • location 08

226 Main St • 11' x 7' • FI0003501

Gary Kelley • (319) - 277 - 2330 • *** This installation is pending*



IOWA ARTS COUNCIL
IOWA DEPARTMENT OF CULTURAL AFFAIRS



getting back together • location 09

115 Main St • 13' x 8' • FI0003245

Deanna Nelson • deanna.nelson@eagleviewpartners.com



IOWA ARTS COUNCIL
IOWA DEPARTMENT OF CULTURAL AFFAIRS



getting back together • location 10

203 State St • 30' x 7' • FI0007245, FI0007246

Nick Newgard • Nick@secondstatebrewing.com • ***This installation is pending*





getting back together • location 11

110 East 3rd St • 22' x 12' • F10002113

Jim & Jodi Landau • jdjllandau@gmail.com • *** This installation is pending*



IOWA ARTS COUNCIL
IOWA DEPARTMENT OF CULTURAL AFFAIRS



getting back together • location 12

222 Main St • 33' x 8' • FI0002729

Jim & Jodi Landau • jdjllandau@gmail.com • *** This installation is pending*



IOWA ARTS COUNCIL
IOWA DEPARTMENT OF CULTURAL AFFAIRS



getting back together • location 12

223 Main St • 22' x 6' • FI0007880

Pete Hill • 319-240-2428 • ***This installation is pending*



IOWA ARTS COUNCIL
IOWA DEPARTMENT OF CULTURAL AFFAIRS



getting back together • location 14

100 East 2nd St • 20' x 8' • FI0007680

Deanna Nelson • deanna.nelson@eagleviewpartners.com • ***This installation is pending*



IOWA ARTS COUNCIL
 IOWA DEPARTMENT OF CULTURAL AFFAIRS



getting back together • appendix images



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
 220 Clay Street
 Cedar Falls, Iowa 50613
 Phone: 319-273-8600
 Fax: 319-273-8610
 www.cedarfalls.com

MEMORANDUM

Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Chris Sevy, Planner I
DATE: April 7, 2021
SUBJECT: Remodel review of property in the College Hill Neighborhood Overlay District

REQUEST: Request to approve a College Hill Neighborhood Overlay District floor plan for the addition of bedrooms at 704-706 W 28th Street (Project #DR21-005)

PETITIONER: Owner: Wes Geisler

LOCATION: 704-706 W 28th Street

PROPOSAL

This request involves a remodel of a duplex at 704-706 W 28th Street. For each unit this proposal includes: remodel of floorplan to add one bedroom, add a second bathroom, remodel the kitchen with an open format, relocate the upstairs bathroom, and provide additional common living space. The property is located in the College Hill Neighborhood Overlay Zoning District and a review by the Planning and Zoning Commission and City Council is required for adding bedrooms to a duplex in the district.



BACKGROUND

The College Hill Neighborhood Overlay District was established for the preservation of neighborhood character and the stabilization of its neighborhoods after a long history of changes and updates to properties that typically increased occupancies and detracted from the original intent of those properties and neighborhoods. This trend and the establishment of the Overlay called for more scrutiny when reviewing changes that may affect the character of the neighborhood.

This property is located within the R-2, Residence District of the College Hill Neighborhood Overlay Zoning District (Section 26-181). The Overlay defines the adding of bedrooms to a

duplex as a *substantial improvement*. A *substantial improvement* requires review and approval by the Planning and Zoning Commission and the City Council. The criteria listed in the Overlay requires that the following be considered in this review: change in density, minimum on-site parking requirements, parking lot standards, stormwater drainage, open space/ landscaping requirements, and other provisions as applicable in the code.

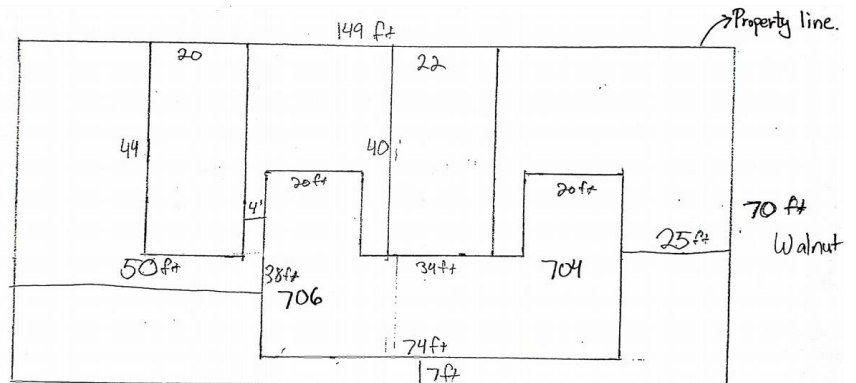
The property in question has been a registered rental since May 2001. The petitioner purchased this property in October 2020 with the intent that it continue as a rental but is seeking to increase the occupancy of the property by adding one additional bedroom to each unit. Currently, each unit has two bedrooms and 760 square feet of finished floor space. The proposed remodel would bring the number of bedrooms to three per unit (six total) and 1520 square feet of finished floor space per unit (3040 total).



A previous proposal to add two bedrooms to each unit was denied by the Planning and Zoning Commission on February 10, 2021 and City Council on March 1, 2021.

ANALYSIS

The existing building at 704-706 W 28th Street is a single story structure. The building is 74 feet wide by 38 feet deep and resides on a lot that is 149 feet wide by 70 feet deep (10,430 ft²). No changes to the building envelope are being proposed aside from window wells that are required for basement bedrooms. There are two driveways: one that is 22 feet wide by 40 feet deep which leads to two one-stall garages, and another that is 20 feet wide by 44 feet deep which was paved recently and runs along the west side of the house. The following is an evaluation of the proposed remodel according to standards outlined in the College Hill Neighborhood Overlay Zoning District and other applicable codes:



1. Change in density: Preserving neighborhood character is a priority of the College Hill Neighborhood Overlay District. The addition of bedrooms and associated increase in residential occupancy may have a negative effect on the neighborhood's character in several ways. These include: an increase in the number of cars parked on the property, associated traffic from those cars and visitors, increased parking accommodations causing the loss of mature trees and usable outdoor space, and wear and tear of higher occupancy on this modest-sized property. However, three persons per unit is the de facto standard outlined in the rental code for existing rentals after a change in ownership. The majority of surrounding rentals with occupancy of four adults per unit will have their occupancy reduced to three per unit in the event of an ownership change. In those cases, any desired occupancy higher than three will require approval by the Board of Rental Housing Appeals. Due to this, staff finds that three bedrooms per unit accommodating occupancy of three persons per unit is appropriate and will fit well with these density

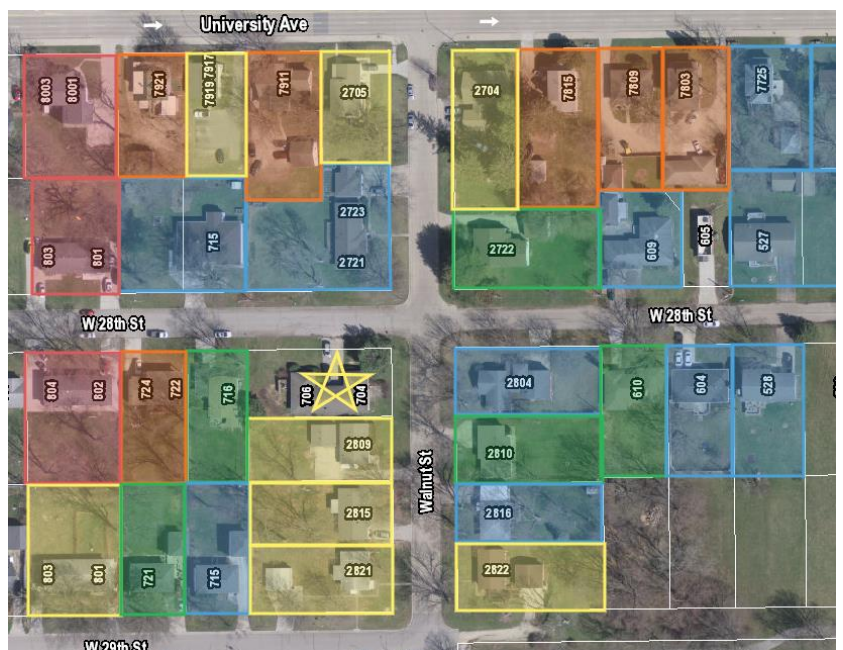
standards of the rental code.

It was also the disposition of the Technical Review Committee that the current proposal appears appropriate to the context and original carrying capacity of the property. The additional finished space in the basement, as proposed by the applicant, appears to accommodate well the additional intended occupancy.

Below is specific detail regarding current and anticipated densities of this neighborhood. Before examining this detail, it is important to take into account that current occupancy levels are not guaranteed to continue indefinitely. Current code and required reviews will cause many of these occupancy levels to decrease when these properties are sold or transferred. It has been the intent of the most recent rental housing ordinance to gradually reduce occupancy levels so that the rental burden on neighborhoods is moderated.

To the right is a color-coded map of the immediate neighborhood. Each property in this graphic sits at least 350 feet from the intersection where the subject property sits. The following is what each color means:

- Blue = Owner-occupied
- Green = less than four occupants
- Yellow = four occupants
- Orange = five to seven occupants
- Red = eight occupants



Here are some important highlights:

- The occupancy of those immediately adjacent to the subject property have low to moderate occupancy levels (four or less).
- Several owner-occupied properties are within close proximity.
- Those in red with eight occupants are significantly wider than the subject property.

Below is the occupancy detail for each rental property noting which ones are duplexes and which ones will be subject to review and potential occupancy reduction upon sale or transfer. Some properties at sale or transfer have already been reduced as staff has applied the current rental housing regulations intended to stabilize neighborhoods. Staff finds that the desired density of the subject property is in line with the goals of these regulations.

<u>Street Address</u>	<u>Housing Type</u>	<u>Occupancy</u>	<u>Notes</u>
802-804 W 28th	Duplex	8	Subject to review/reduction at sale or transfer
801-803 W 28th	Duplex	8	Subject to review/reduction at sale or transfer
8001-8003 University Ave.	Duplex	8	Subject to review/reduction at sale or transfer
7911 W University Ave.	Duplex	7	Subject to review/reduction at sale or transfer
722-724 W 28th	Duplex	6	
7921 W University Ave.	Duplex	6	
7815 W University Ave.	Duplex	5	
7809 W University Ave.	Duplex	5	
7803 W University Ave.	Duplex	5	
801-803 W 29th	Duplex	4	
7917-7919 University Ave.	Duplex	4	
2821 Walnut	Single-Family	4	Subject to review/reduction at sale or transfer
2815 Walnut	Single-Family	4	Subject to review/reduction at sale or transfer
2809 Walnut	Single-Family	4	Subject to review/reduction at sale or transfer
2705 Walnut	Single-Family	4	Subject to review/reduction at sale or transfer
2704 Walnut	Single-Family	4	Subject to review/reduction at sale or transfer
2722 Walnut	Single-Family	4	Subject to review/reduction at sale or transfer
2822 Walnut	Single-Family	4	Subject to review/reduction at sale or transfer
716 W 28th	Single-Family	3	
2810 Walnut	Single-Family	3	
610 W 28th	Single-Family	3	
721 W 29th	Single-Family	2	
513 W 28th	Single-Family	2	
7715 W University Ave.	Single-Family	2	

2. Minimum on-site parking requirements: The College Hill Neighborhood Overlay District requires one parking stall per bedroom for duplexes. The required dimension of one parking stall for residential uses is 8’ by 18’. While tandem parking is not optimal for all situations, Section 26-220 outlines general parking requirements and allows tandem stalls to be counted for duplexes. Tandem means no more than two stalls arranged one in front of the other. By this standard, the property has enough parking to accommodate eight persons (4 cars on each driveway). Therefore, the site more than meets the requirement and has some flexibility where tandem parking may less practical for a tenant or two.
3. Parking lot standards: A parking lot is defined as an area designated for parking three or more vehicles. However, the standards for parking lots do not apply to driveways servicing duplexes even where tandem parking is intended/allowed.
4. Stormwater drainage: Stormwater detention requirements do not apply to duplexes.
5. Open space/ landscaping requirements: This criterion regulates parking areas and required green spaces. As part of a previous approval of the driveway by Council the applicant is required to replace and maintain grass, shrubs, and trees in a manner consistent with the residential neighborhood. This should be similar to what was previously planted on the property.

On the west side of the duplex there was a patio screened with bushes and a fence that were removed with the construction of the second driveway. To the right you'll see a picture that shows a view from the street prior to the project and another picture of the parking area showing all landscaping removed. Neighborhood decline due to unsightly exterior issues is a primary reason these reviews are required in the Overlay. Fortunately, the patio and landscaping serving the other side of the duplex were preserved.



TECHNICAL COMMENTS

There was concern by CFU about the placement of egress windows too close to the gas meters outside; a 3 foot setback was requested. The applicant has indicated that this setback will be maintained.

With regard to the current condition of the property, staff has visited the site and found the below maintenance items and potential code issues that need to be addressed. These maintenance items will be a condition of receiving their rental permit.

1. Clean face of gutters
2. Touch up paint as needed at windows
3. Repair/replace rear siding
4. Stairs need to be replaced at the rear door if the rear door is to remain

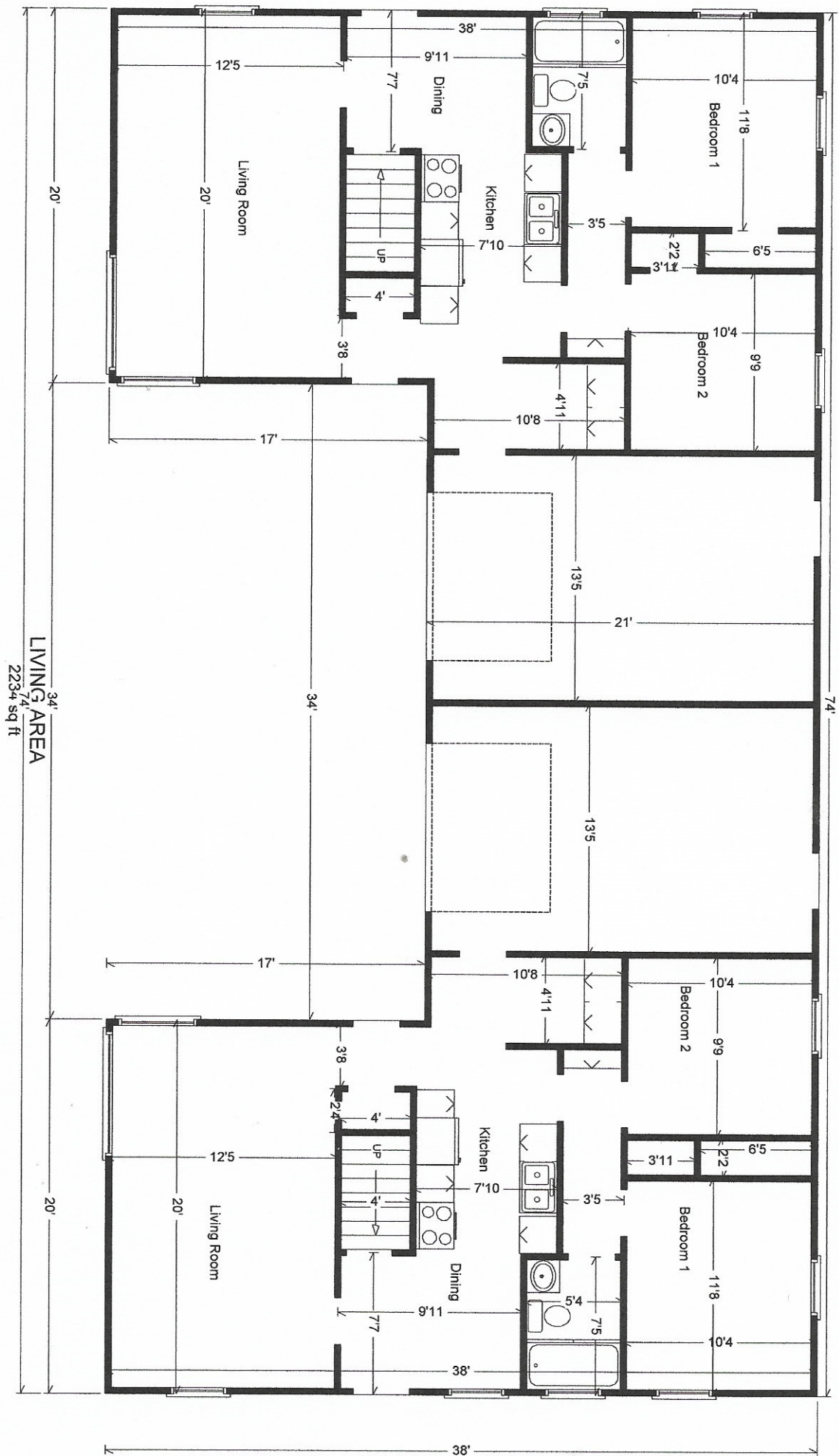
Notification of this case was sent to adjacent property owners on 4/7/2021.

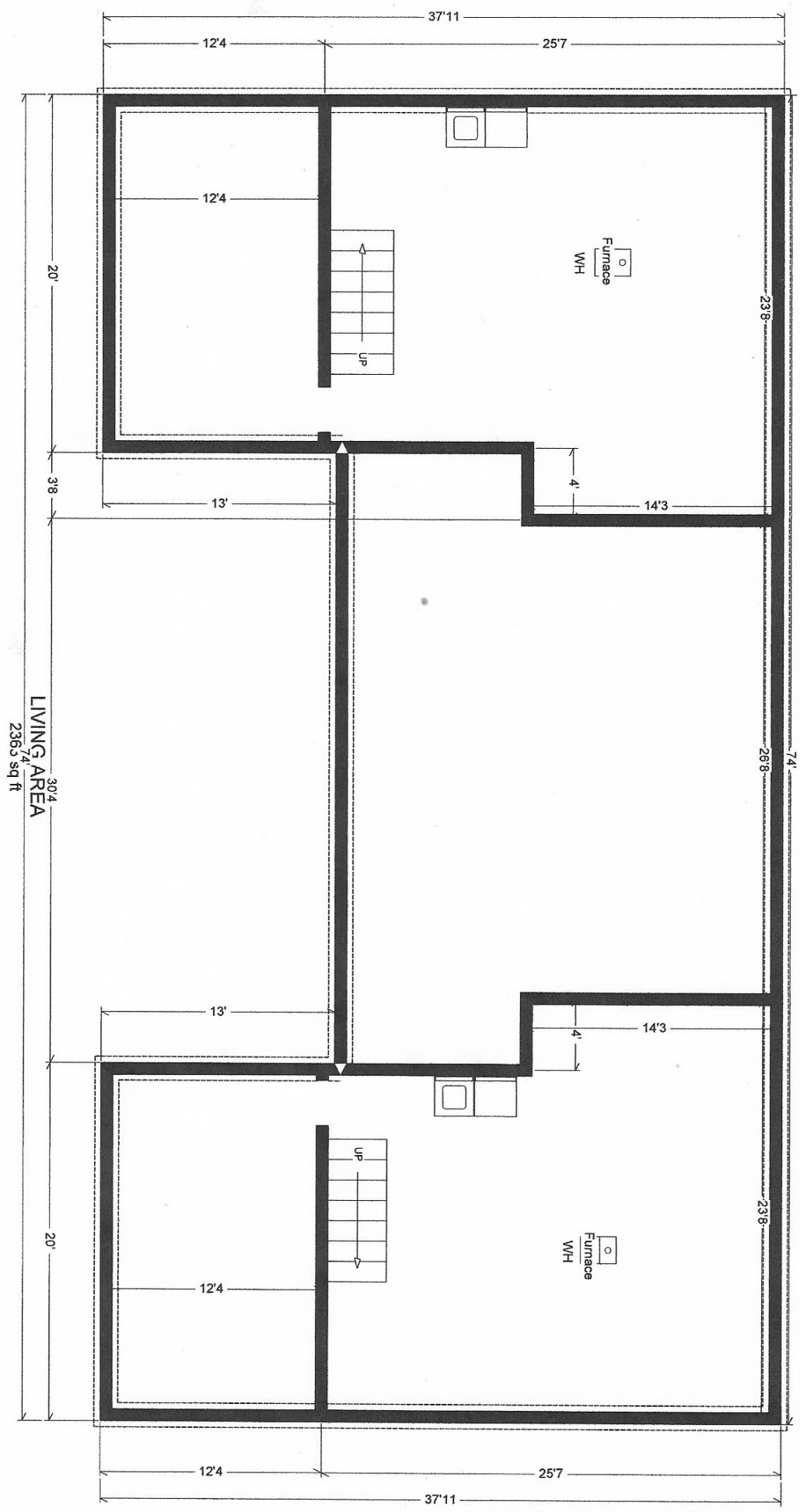
STAFF RECOMMENDATION

Due to sufficient parking and consistency with occupancy standards outlined in the rental code, staff recommends that this request to add 2 bedrooms to the building (1 per unit) be approved subject to the condition that the occupancy limit be fixed at three persons aged 18 years or older per unit (one adult per bedroom).

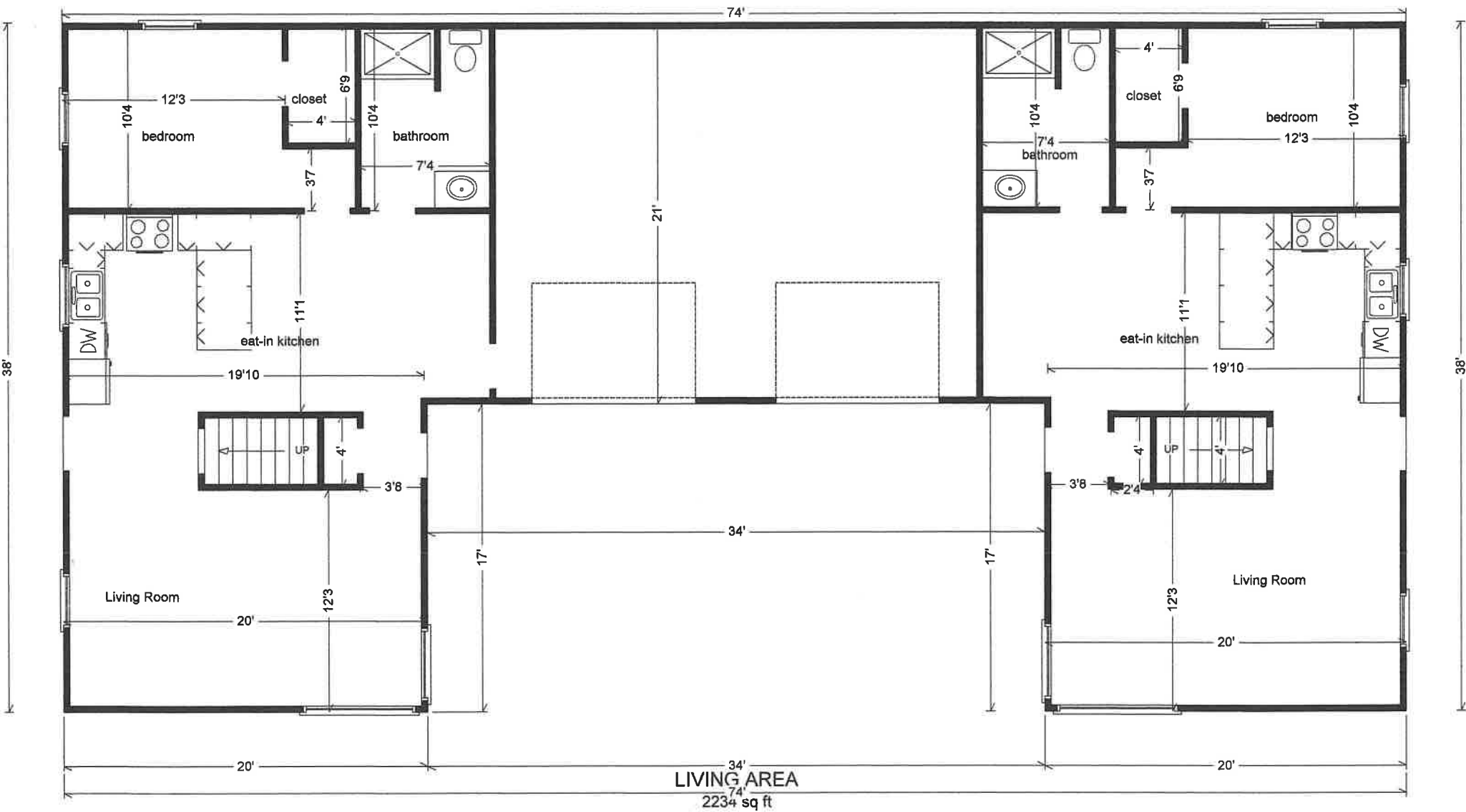
Attachments:

Current Main Floorplan
 Current Basement Floorplan
 Proposed Main Floorplan
 Proposed Basement Floorplan

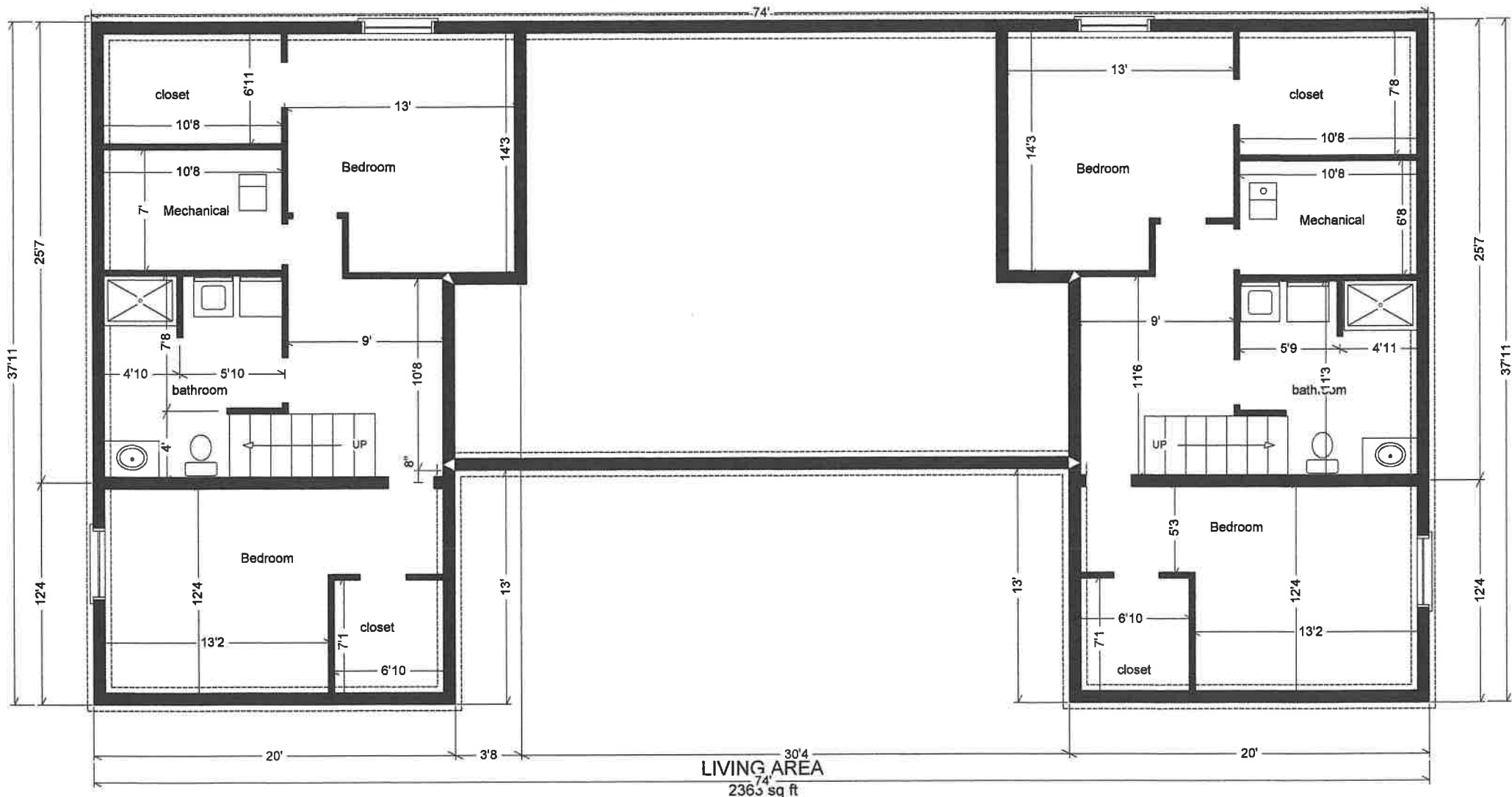




Main



BSMT





DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
 220 Clay Street
 Cedar Falls, Iowa 50613
 Phone: 319-273-8600
 Fax: 319-273-8610
 www.cedarfalls.com

MEMORANDUM

Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Jaydevsinh Atodaria (JD), Planner I
 Ben Claypool, PhD, EI, Civil Engineer II
DATE: April 8, 2021
SUBJECT: Blain's Corner 2nd Addition Minor Plat

REQUEST: Request to approve the Blain's Corner 2nd Addition Minor Plat
 (Case # MP21-001)

PETITIONER: Davenport Farm and Fleet INC, Owner; Andrea Rand (ISG), Engineer

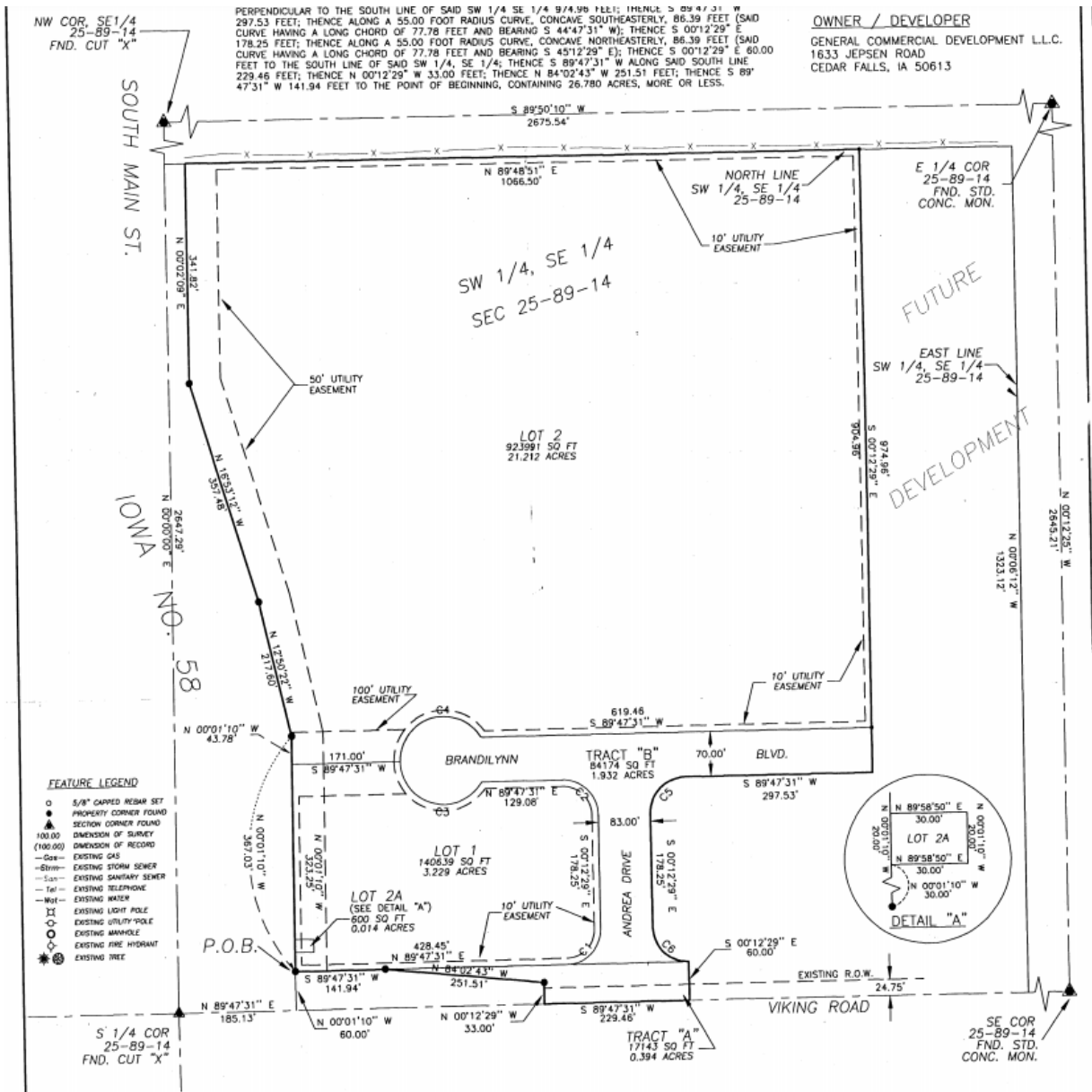
LOCATION: 219 Brandilynn Blvd

PROPOSAL

The current property owner of the lot addressed as 219 Brandilynn Blvd. proposes to divide the property into two commercial lots, which will convert the existing lot into two commercial developable lots. The application intends is to subdivide the existing parcel in Blain's Subdivision into two lots and develop the newly created lot by proposing a new Aldi grocery store. A minor plat is required to split the original single lot into two lots. The subject parcel is within the HWY-1 Highway Commercial Zoning District.

BACKGROUND

The parcel was created by Blain's Corner Addition to Cedar Falls, Iowa in 1998. As shown below, the subject parcel to be divided is the Blain's Farm and Fleet store which sits on Lot 2 of Blain's Addition, which is now the only parcel in the subdivision. Over time there have been a lot of reconfigurations of lots in this subdivision. Lot 1 of original Blain's addition is now called as T & L Plaza addition and has been further divided into 4 lots. And Tract B of the original Blain's addition is now owned by the City of Cedar Falls and is being operated as a public street.

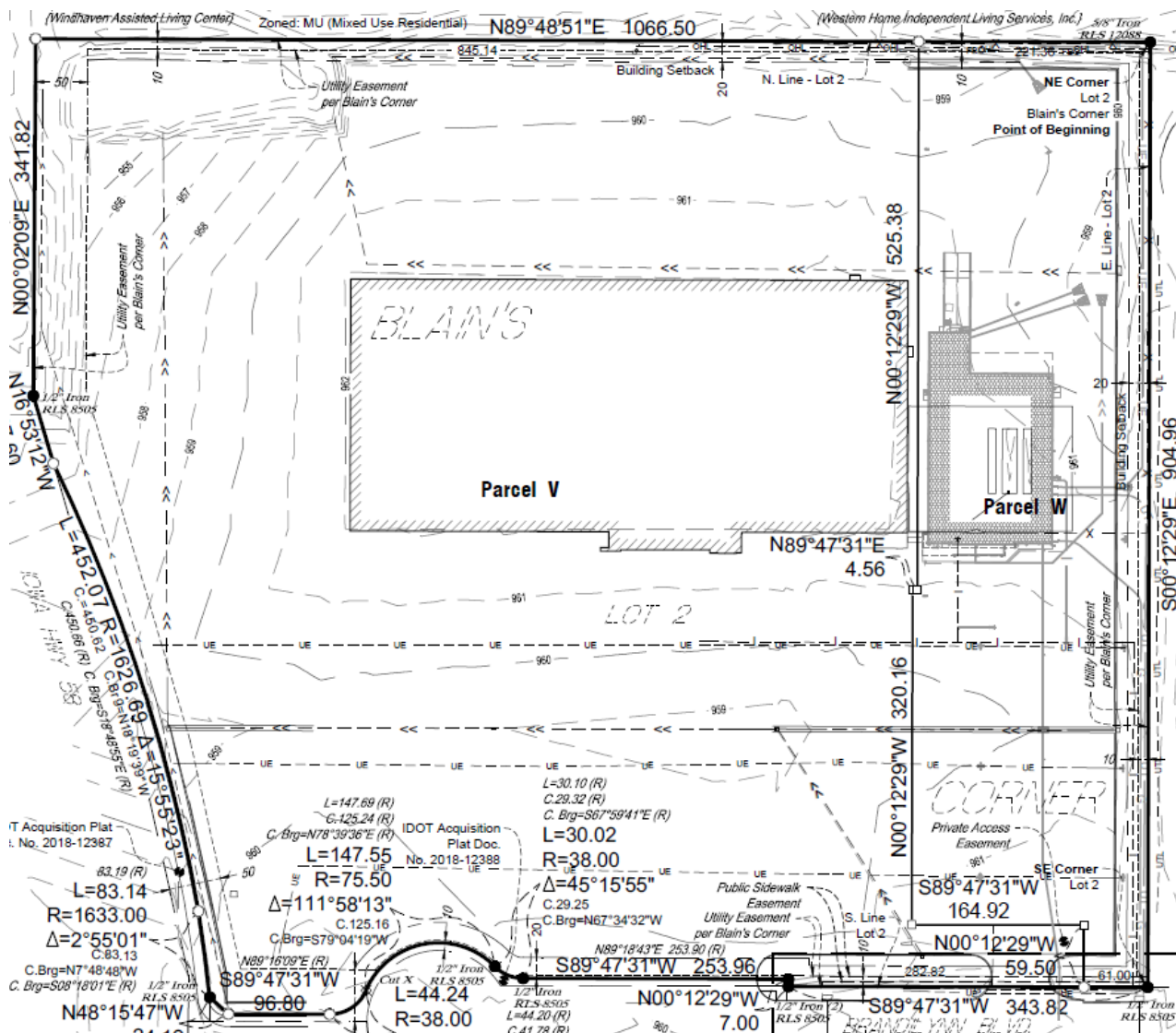


Applicant requests dividing the only remaining lot in the Blain’s Corner Addition into two parcels which will allow Blain’s Farm and Fleet store to continue operating on one lot and proposes to develop the other lot by adding a new Aldi’s grocery store.

ANALYSIS

219 Brandilynn Blvd property is located in the HWY-1 Highway Commercial Zoning District. Currently the lot measures approx. 21.21 acre which houses Blain’s Farm and Fleet. With the proposal of a minor plat, this lot will be divided into Parcel V (16.46 acres approx.) and Parcel W (4.41 acres approx.) Parcel V will continue the use of the site with Blain’s Farm and Fleet and the applicant proposes to put a New Aldi’s store in the newly created Parcel W. Currently, Blain’s site is accessed by three access points through Brandilynn Blvd. and to provide access to the newly created Parcel W (or New Aldi’s building), there will be a shared access agreement over the eastern entrance to the lot. There will be a shared access easement to allow ingress/egress to the newly created parcels.

The drawing below graphically depicts the lot split and building locations. The building setbacks in the HWY-1 Highway Commercial Zoning District require a 20-foot setback consisting of landscape material that shall be established around the perimeter of the district. No interior side setback is enforced when two buildings are side by side. The setback in the proposed plat does meet the City's Zoning Code requirement. However, the applicant also proposes 10 feet setback from the shared side lot line, placing the new proposed building at 20 feet from the existing Blain's Farm and Fleet building. The proposed minor plat includes a private access easement that would allow access to the newly created Parcel W. Proposed minor plat also corresponds to 10 feet utility easement along the south, east and north property line as per the original Blain's addition. Besides, the proposed plat includes a public sidewalk easement along the north property line that would allow the addition of 5 feet wide public sidewalk extending eastward to the eastern lot line of the plat from the existing Cedar Prairie Trail.



New proposed Aldi's building and lot size will be a lot smaller in the area as compared to the Blain's building and site area. And the two newly created parcels V and W both meet all the zoning ordinance requirements.

TECHNICAL COMMENTS

Cedar Falls Utilities (CFU) has reviewed the Minor Plat Hwy 1 Site Plan for the proposed Aldi's. Water, electric, gas, and communications utility services are available in accordance with the service policies of CFU. Water is available from a privately owned 12" water main in front of the proposed Aldi's that serves two fire hydrants, one on the east side and one on the south side of Blain's. The plat shows 10 feet wide utility easement along the south and east property line, shows 5 feet wide Public Sidewalk easement along the south property line, and a private access easement along the south-east corner of the plat to provide access to Aldi's site (Parcel W) from Blain's lot (Parcel V) through Brandilynn Blvd.

The property is located outside the floodplain overlay district.

City staff recommends adding one more sheet to the proposed Blain's Corner 2nd Addition Minor Plat with only the survey measurements shown as when this gets recorded some of the measurements will not be legible. Also, adding another sheet will allow one to clearly look at the site context, access points to the plat and the plat clearly with visible easements and labels.

A courtesy mailing was sent to the neighboring property owners on April 6, 2021

STAFF RECOMMENDATION

The introduction of this Minor plat is for discussion and public comment purposes. The Community Development Department has reviewed the proposed Minor case #MP21-001, and recommends approval with the following stipulations:

1. Any comments or direction specified by the Planning and Zoning Commission.
2. Conformance with all city staff recommendations and technical requirements.

Staff recommends continuing discussion in the next Planning and Zoning Meeting prior making recommendation to the Council.

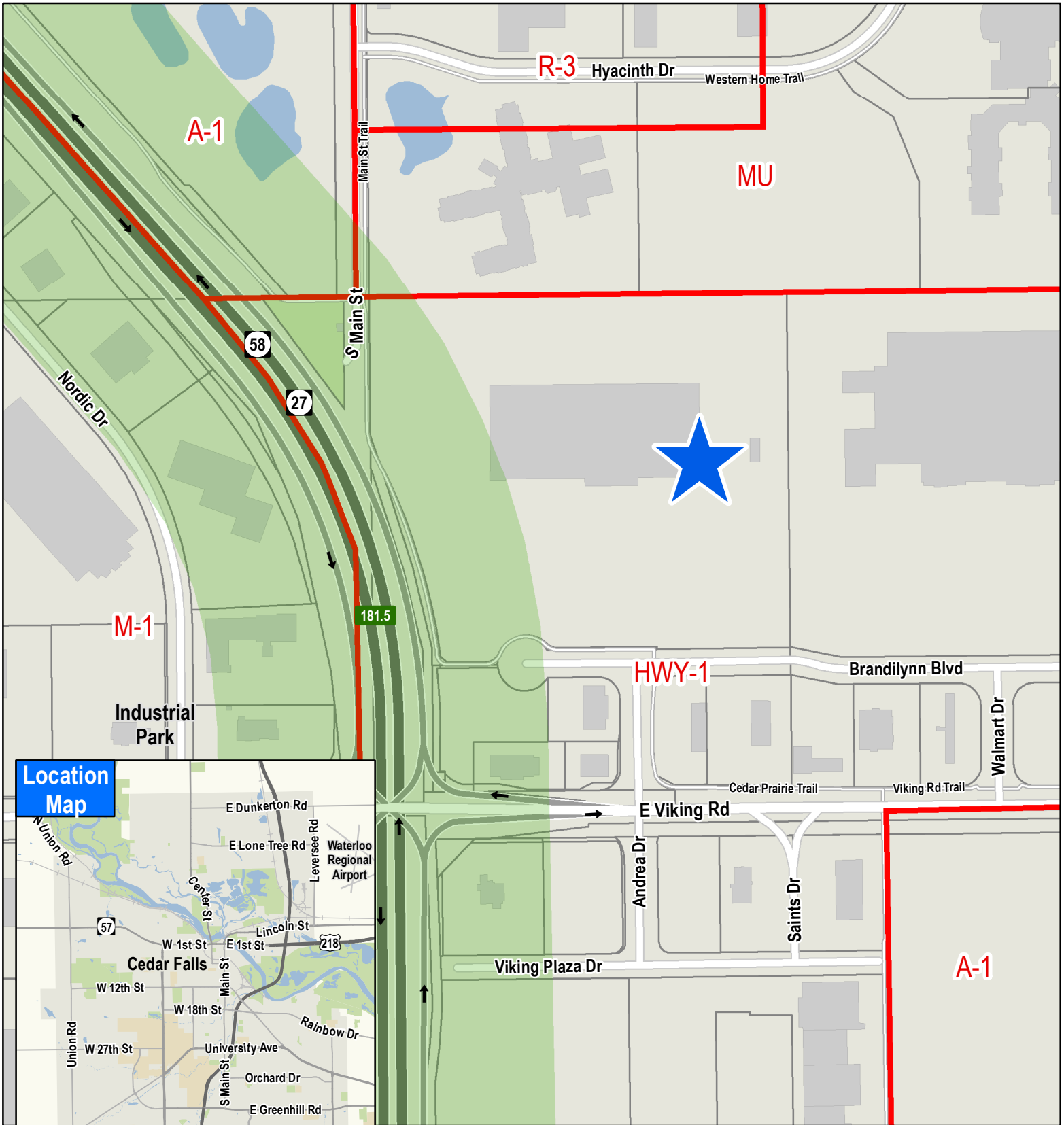
PLANNING & ZONING COMMISSION

Discussion
4/14/2021

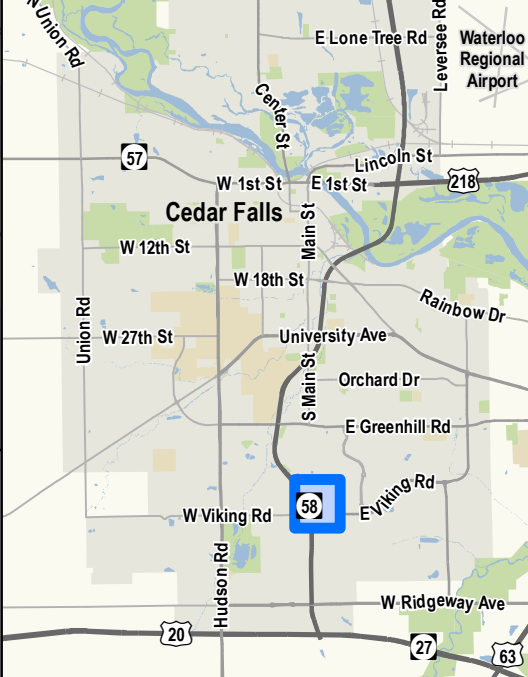
Cedar Falls Planning and Zoning Commission

April 14, 2021

Item 8.



Location Map



Blain's Corner 2nd Addition Minor Plat
219 Brandilynn Blvd.

INDEX LEGEND
PLAT OF SURVEY
GENERAL DESCRIPTION: Part of Lot 2, Blain's Corner, Cedar Falls
PROPRIETOR: Davenport Farm and Fleet, Inc.
PLAT PREPARED FOR: Aldi, Inc.
PLAT PREPARED BY: Daniel L. Stueber
COMPANY NAME: ISG
OFFICE ADDRESS: 115 E. Hickory St. Suite 300 Mankato, MN 56001
PHONE: 507-387-6651

PLAT OF SURVEY

BLAIN'S CORNER 2ND ADDITION MINOR SUBDIVISION PLAT

Part of Lot 2, Blain's Corner
Cedar Falls, Iowa
Black Hawk County, Iowa

NOTES:

- The basis of bearing for this Plat of Survey is the east line of Lot 2, Blain's Corner, said line bears South 00 degrees 12 minutes 29 seconds East.
- Owner/Subdivider:
Davenport Farm and Fleet, Inc.
PO Box 5391
Janesville, WI 53547
- Zoning: HWY-1 (Highway Commercial District)
Setbacks
Building
Front - 20 feet
Side - 20 feet (City staff indicated no interior side setbacks enforced)
Rear - 20 feet
- The error of closure is better than 1:10,000
- Address of Parcel V - 219 Brandilynn Blvd.

AREA TABLE

Parcel V: 716,932 sq. ft. - 16.46 acres
Parcel W: 192,247 sq. ft. - 4.41 acres

This plat or Subdivision has been reviewed by the City of Cedar Falls, Iowa.

LEGAL DESCRIPTION PARCEL V:

Lot 2, Blain's Corner to Cedar Falls, Black Hawk County, Iowa, except that part conveyed to the State of Iowa in Doc. #2018-12387 and except that part conveyed to City of Cedar Falls in Doc. #2018-12388

ALSO EXCEPT

That part of Lot 2, Blain's Corner to Cedar Falls, Black Hawk County, Iowa, described as follows:

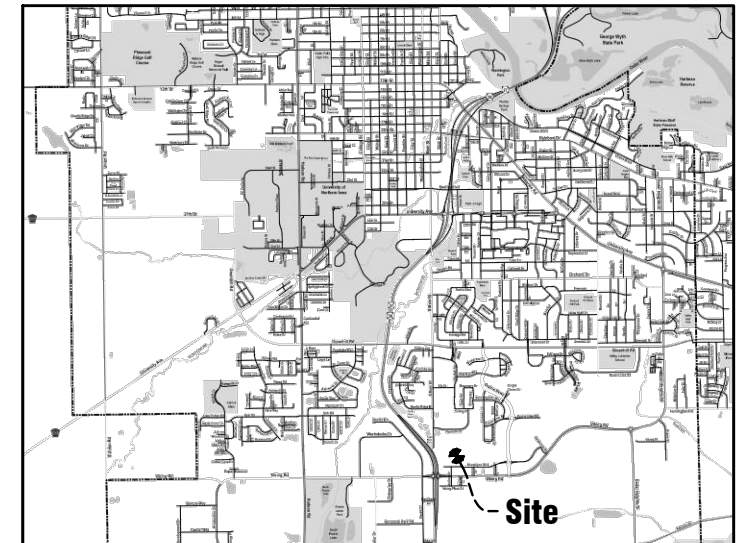
Beginning at the northeast corner of said Lot 2; thence South 00 degrees 12 minutes 29 seconds East (assumed bearing) on the east line of said Lot 2, a distance of 904.96 feet to the southeast corner of said Lot 2; thence South 89 degrees 47 minutes 31 seconds West on the south line of said Lot 2, a distance of 61.00 feet; thence North 00 degrees 12 minutes 29 seconds West, 59.50 feet; thence South 89 degrees 47 minutes 31 seconds West, 164.92 feet; thence North 00 degrees 12 minutes 29 seconds West, 320.16 feet; thence North 89 degrees 47 minutes 31 seconds East, 4.56 feet; thence North 00 degrees 12 minutes 29 seconds West, 525.38 feet to a point on the north line of said Lot 2; thence North 89 degrees 48 minutes 51 seconds East on said north line, 221.36 feet to the point of beginning.

LEGAL DESCRIPTION PARCEL W:

That part of Lot 2, Blain's Corner to Cedar Falls, Black Hawk County, Iowa, described as follows:

Beginning at the northeast corner of said Lot 2; thence South 00 degrees 12 minutes 29 seconds East (assumed bearing) on the east line of said Lot 2, a distance of 904.96 feet to the southeast corner of said Lot 2; thence South 89 degrees 47 minutes 31 seconds West on the south line of said Lot 2, a distance of 61.00 feet; thence North 00 degrees 12 minutes 29 seconds West, 59.50 feet; thence South 89 degrees 47 minutes 31 seconds West, 164.92 feet; thence North 00 degrees 12 minutes 29 seconds West, 320.16 feet; thence North 89 degrees 47 minutes 31 seconds East, 4.56 feet; thence North 00 degrees 12 minutes 29 seconds West, 525.38 feet to a point on the north line of said Lot 2; thence North 89 degrees 48 minutes 51 seconds East on said north line, 221.36 feet to the point of beginning.

VICINITY MAP

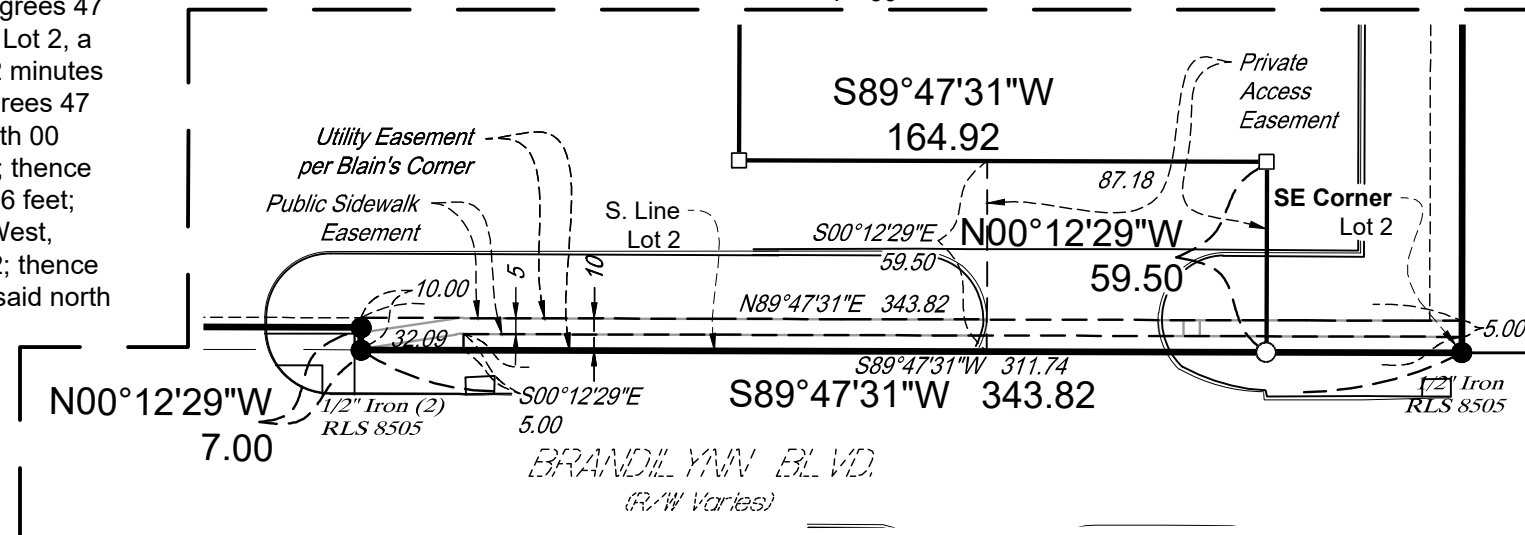


Cedar Falls, Iowa

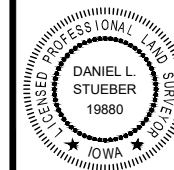
Signature of City of Cedar Falls
Zoning Ordinance Administrator

Date

DETAIL
1"=60'



I hereby certify that this land surveying document was prepared by me and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.



DLS
DANIEL L. STUEBER
License Number 19880
Date: 2/18/21
My License renewal date is 12/31/21
Pages covered by this seal 2

ISG
PN: 16-19997
Sheet 1 OF 2
Surveyed by: DLS
Survey Date: 2/18
Rev. Date: 3/22/21

DRAWN BY: KH
PLOT DATE: 2/20/21
CAD FILE NAME: 188P.PLT

DEPARTMENT OF COMMUNITY DEVELOPMENT



City of Cedar Falls
220 Clay Street
Cedar Falls, Iowa 50613
Phone: 319-273-8600
Fax: 319-273-8610
www.cedarfalls.com

MEMORANDUM Planning & Community Services Division

TO: Planning & Zoning Commission
FROM: Jaydevsinh Atodaria (JD), City Planner I
Ben Claypool, PhD, EI, Civil Engineer II
DATE: April 8, 2021
SUBJECT: Aldi's Grocery Store Site Plan

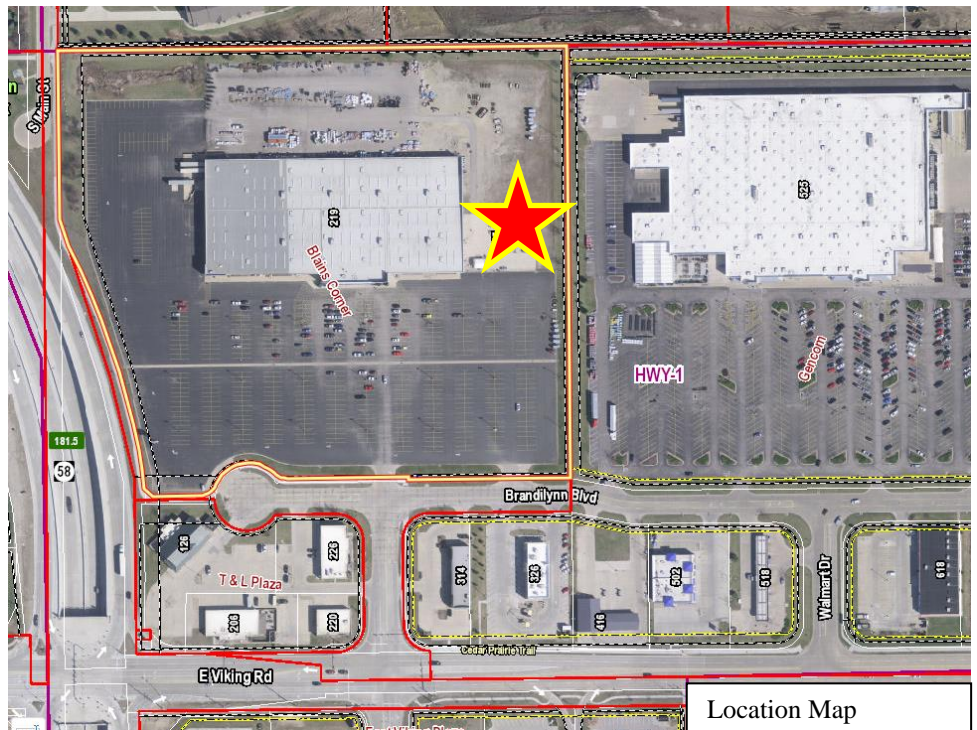
REQUEST: Site plan approval for construction of a new Aldi's.(Case # SP21-005)

PETITIONER: Davenport Farm and Fleet INC, Owner ; Andrea Rand (ISG), Engineer

LOCATION: 315 Brandilynn Boulevard

PROPOSAL

The applicant proposes to construct up to two-story, 20,288 square foot grocery store, a locally recognized Aldi's store, on 315 Brandilynn Boulevard. The proposal is following the approval of the proposed Blain's Corner 2nd addition Minor plat. The proposal includes some site improvements, new signage, landscaping improvements, parking lot alterations, and a new building accommodating Aldi's Grocery store. The proposed layout of the building sits on about 4.41



Location Map

acres of land located on Brandilynn Blvd. and will be placed just east of the existing Blain's Farm and Fleet store. This project will include the removal of the excess storage area to the east of the existing Blain's building, where the proposed Aldi's store would sit.

BACKGROUND

The parcel was created by Blain's Corner Addition to Cedar Falls, Iowa in 1998. The property is in the HWY-1, Highway Commercial Zoning District.

This proposal is to develop Aldi's grocery store on parcel "W" which will be created after the approval of the proposed Blain's Corner 2nd addition Minor plat which aims to convert the existing Blain's lot into two commercial developable lots. The two commercial developable lots will then include a chunk of 16.47 acres utilized by the existing Blain's Farm and Fleet store and the rest 4.41 acres utilized by the proposed Aldi's grocery store.

ANALYSIS

The proposed site plan development is in the HWY-1 Highway Commercial Zoning District. The HWY-1 District is intended to promote and facilitate comprehensively planned commercial developments located adjacent to major transportation corridors and interchanges. The purpose of these regulations is to encourage high standards of building architecture, and site planning which will foster commercial development that maximizes pedestrian convenience, comfort and pleasure. The ordinance requires a detailed site plan review before approval to ensure that the development site satisfies several basic aesthetic standards. Attention to details such as parking, open green space, landscaping, signage, building design, and other similar factors help to ensure orderly development in the entire area.

Following is a review of the zoning ordinance requirements for the proposed development:

- 1) Use: A grocery store serving traveling public or a regional customer base is a permitted use in the HWY-1 District. **Use is allowed.**
- 2) Building Location: The proposed new Aldi grocery store will be located on "Parcel W", after the approval of submitted Blain's Corner 2nd Addition Minor Plat. The proposed new building will be placed in line with the existing Blain's Farm and Fleet store to the west. As per code, a 20-foot setback consisting of landscape material shall be established around the perimeter of the district. This 20-foot setback should be free of any structure or parking areas. The proposed site plan follows the required 20 feet setback along the south, east, and north property line by the provision of required landscaping. In addition, a 10-foot building setback is proposed along the west property line to break the visual barrier between Blain's and Aldi's building. The proposed building footprint is approximately 20,300 square feet, which is significantly less compared to the adjacent buildings to east

and west. The site plan shows that the building might be expanded northward in the future by extending the north wall.

The building will have two main public ingress/egress areas along the south wall of the building and will have a door each on the west, east, and north façade to access site areas for staff.

The site plan shows one access point to the proposed building and parking lot which will be part of the shared access easement from Blain’s site. The access point will be from Brandilynn Boulevard. **Building setbacks are satisfied.**

- 3) Parking: The parking requirement for the new building is 92 parking stalls (4.5 stalls per 1000 square feet of gross floor area). The provided site plan shows 172 parking stalls, which includes 6 ADA stalls. Parking is provided in the south and east areas of the lot. The site plan shows minor adjustments to accommodate additional green space, landscaped islands, and other landscaped buffer areas. The parking meets the zoning standards with 9’ x 19’ stalls and 22’ wide aisles. **The amount and dimension of the parking stalls and drives are met.**
- 4) Open Space Requirements: This property is located within the HWY-1 Highway Commercial Zoning District. This zoning district requires that open space/landscaping requirements be provided at the rate of 10% of the total development site area excluding the perimeter setback area. Following is a summary of the landscape plan that details how this provision is met.

New Development Site	192,252 SF	
Required Open/Green Space	19,225 SF	10%
Provided Open/Green Space	64,144 SF	34%

Landscaping is shown throughout the site, both around the building as well as within the parking lot, and along the streets within required setbacks.

The open green space exceeds the minimum requirement and is well distributed.

- 5) Landscaping: The HWY-1 Highway Commercial Zoning District requires minimum landscaping at the rate of 0.02 points per sq. ft. of total development site area as far as zoning district requirement is concerned. This can be achieved with the planting a combination of trees and shrubbery. A minimum of 0.75 points per linear foot of street frontage shall be planted with Street tree plantings. Besides, tree plantings and other landscape treatments shall be required within designated parking areas to provide shade and visual relief in large parking areas.

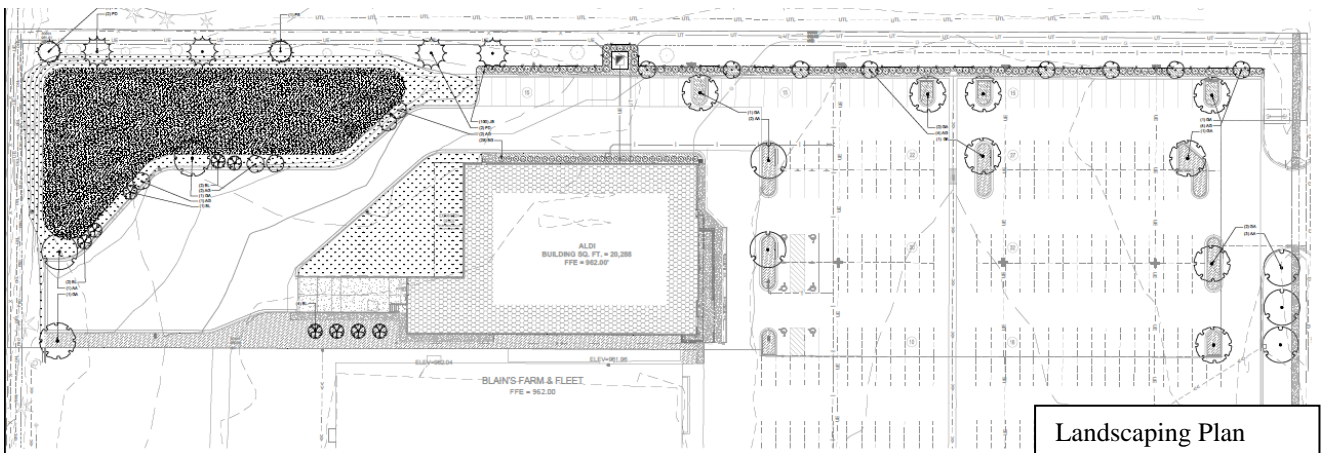
Parking Lot Improvisation Requirement: Peripheral landscaping and internal landscaping are also required if existing off-street parking lots are altered or enlarged, in whole or in part. Peripheral landscaping requirements include

placement of continuous landscaped strip not less than 5 feet in width and at least three feet in height, and one tree for every 50 lineal feet of landscaping barrier to screen the parking areas from the public streets and abutting lots. And Internal landscaping requirement includes placement of one overstory tree for every 21 parking stalls to shade the internal parking areas.

Overall, the total required landscaping points is 3,940 points which include 3,775 Site area points and 165 street frontage points. In response, the applicant proposes landscaping points summing to 4,020 Points (3,780 site points & 240 street frontage points). Planting point details can be seen in the attached landscaping plan for review.

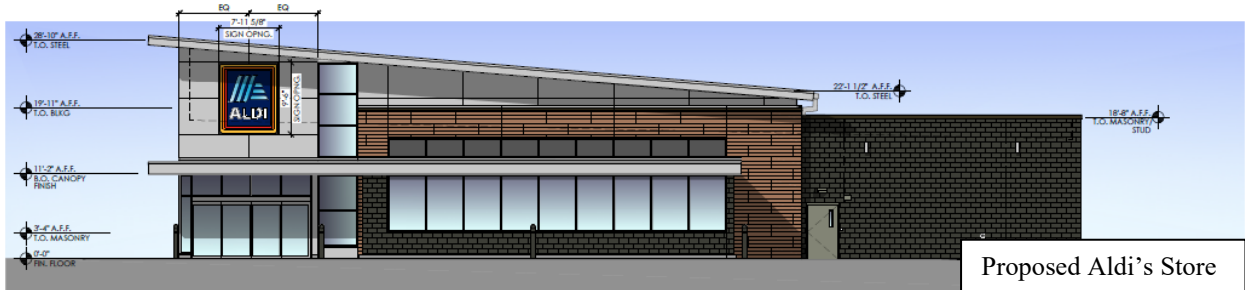
Also, about 12 parking lot trees are required as per calculation, in response applicant proposes 12 parking lot trees including 2 existing site trees.

Overall, landscaping on the site is well distributed on all three sides of the building including parking lot screening with shrubs and trees along the east lot line, landscaping islands with trees and ground cover. **Landscaping requirements are met.**



- 6) **Design Review:** As per HWY-1 Highway Commercial Zoning district, all structures established within the district shall be reviewed for architectural compatibility with surrounding structures. The review must also focus on building materials, exterior materials on all sides, coloration, roof-line, size, and location of windows and doors, facades, and signage. The elements in the code are noted below with a review of how each is addressed. **Overall, staff finds that the proposed building design meets the zoning standards based on the following analysis.**

Proportion: The relationship between the width and height of the front elevations of adjacent buildings shall be considered in the construction or alteration of a building; the relationship of width to height of windows and doors of adjacent buildings shall be considered in the construction or alteration of a building.



The scale and proportion of the new building will be slightly smaller than the adjacent building to the west and east, which includes Wal-Mart and Blain's Farm and Fleet Store. And the proposal will be slightly bigger than the commercial building to the south, which houses a couple of retail stores. Both the buildings to the west and east are about two stories in height, the proposed building will also look somewhat similar with only the south façade extending at an angle to emphasize the look of the building. The maximum height of the proposed building is about 29 feet, which just extends on the southwest section of the building. Rest

all the building facades are no taller than 19 feet in height. The width of the face is comparatively smaller to the Wal-Mart store to the east and Blain's store to the west, as the building area is a lot smaller than the big box stores in the surrounding. **Staff finds that the proposal is consistent with neighboring buildings and with the height allowances in the zoning district.**

Roof shape, pitch, and direction: The similarity or compatibility of the shape, pitch, and direction of roofs in the immediate area shall be considered in the construction or alteration of a building.

The adjacent buildings utilize flat roofs with a parapet around the edge and enhanced entrance features like adding more massing and heights than the entire building. The new building will likewise utilize a flat roof with metal coping around the edge and will highlight the entrance area of the building by extending the south face of the building from 19 feet to 29 feet that will span the one-way inclined roof over the entrance. The roofing style of the proposed building matches the existing roofing styles of the neighboring building. An enhanced entrance area with the inclined roof will be enhancing the store façade.

Pattern: Alternating solids and openings (wall to windows and doors) in the front facade and sides and rear of a building create a rhythm observable to viewers. This pattern of solids and openings shall be considered in the construction or alteration of a building.

The new building will feature an aluminum curtain wall system and glass on the south façade of the building as few openings. The rest of the facades will be mostly blank with few door openings to access outdoor site areas. Because of the nature of the use of the store, most of the facades are blank except for the south façade, which is the entrance to the building. Overall, the building materials and patterns meet the city's standards.

Materials and texture: Materials and texture. The similarity or compatibility of existing materials and textures on the exterior walls and roofs of buildings in the immediate area shall be considered in the construction or alteration of a building. A building or alteration shall be considered compatible if the materials and texture used are appropriate in the context of other buildings in the immediate area.

Glass, Curtain Wall, Glass, brick masonry, aluminum composite panels, and fiber cement exterior cladding are the exterior materials proposed for the new building. Most of the materials will provide a slightly rough texture as the majority of the building facades are finished with brick masonry. Several smooth finishes will be observed along the south building façade as there are different materials and textures used to enhance the entrance of the building. In total, approximately 70% of the building will be made up of brick masonry, 15% mixture of aluminum composite panels and fiber cement cladding, and 15% glass.

The adjacent buildings are constructed almost entirely of concrete masonry or fiber cement sidings. Staff finds the proposed building materials will enhance the building and will create a distinctive look.

Color: The similarity or compatibility of existing colors of exterior walls and roofs of buildings in the area shall be considered in the construction or alteration of a building.

The new building will primarily include dark chocolate/grey tone as part of brick masonry while the contrasting tones of silver colors will be seen along the south façade of the building. To enhance the entrance a wooden color fiber cement cladding will be seen along the entrance area.

Architectural features: Architectural features, including but not limited to, cornices, entablatures, doors, windows, shutters, and fanlights, prevailing in the immediate area, shall be considered in the construction or alteration of a building. It is not intended that the details of existing buildings be duplicated precisely, but those features should be regarded as suggestive of the extent, nature, and scale of details that would be appropriate on new buildings or alterations.

The architectural style is similar to traditional big-box store design in nature. Architectural features of the new building include an inclined roof over the heightened entrance area of the building located along the south wall. The building will mostly utilize a flat roof except for the entrance area. Rooflines are similar to the surrounding building except for the increased heightened area on the south-west corner of the building, which provides a unique identity to the building. The color choice also stands out while the materials are generally consistent with the neighbors.

- 7) Trash Dumpster Site: The dumpster enclosure is located behind the building, along the North wall of Aldi's building. Trash enclosure details have not been provided yet including the size and enclosure details. **Staff finds no major concern with the placement of the dumpster but requests additional details about the dumpster enclosure.**
- 8) Lighting: The HWY-1 District regulations do not have specific lighting design guidelines. The applicant has proposed both wall mount lights to highlight the building on all three sides and pole signs with a single head, triple head, and quad head that highlight the parking lot on the site. All the lights are downcast and their illumination will not be bothering neighboring properties. A detailed site lighting plan and light fixture schedule have been attached to the packet for review. **Lighting is acceptable.**
- 9) Signage: For the proposed new building, two wall signs are illustrated on the building; one facing south and another facing east. As per code, wall sign areas cannot exceed 20 percent of the surface area of the single wall to which it is affixed.

No more than two wall surfaces of any single structure may be utilized for sign displays. Both wall sign areas meet the code requirement.

Besides, the applicant is proposing a free-standing sign to highlight the new Aldi's grocery store in the south-eastern part of the lot. As per code, the maximum allowable square footage for all free-standing signs combined is 250 square feet and the allowable sign height is 40 feet. The proposed freestanding sign is 40 feet in height and 120 square feet in area, meeting the code requirements. This signage will be placed 10 feet northward from the south property line as required by the code. No single-use is permitted more than one 40-foot tall. Also, the applicant is also proposing to remove the existing Blain's free-standing sign advertising "Blain's Farm and Fleet" along Highway 58 and want to replace it with a new free-standing sign that advertises both "Aldi's" and "Blain's Farm and Fleet" meeting all the code requirements. An off-premise sign is usually not allowed in HWY-1 zone but because Blain's site is in HCG Highway Corridor and Greenbelt Overlay Zoning district and staff finds this a reasonable request as this sign would allow attracting traffic from the Highway and Intersection. Staff notes that no new free-standing sign will be allowed on Blain's site as they have used the maximum sign area allowance on site. Both freestanding signs proposed meet the code requirement, sign details have been attached with the packet for additional review. **Proposed Signage is acceptable.**

- 10) Sidewalks: There is a 5-foot-wide PCC sidewalk proposed in the site plan which will extend the portion of Cedar Prairie Trail to the eastern lot line from its existing location. This will allow pedestrian traffic to access the building. This sidewalk will be placed 5 feet north to the south property line and will be over the existing 10 feet utility easement. To accommodate the sidewalk, a 5 feet wide public pedestrian access easement has been noted on both the minor plat and the site plan. The sidewalk proposed provides good pedestrian circulation and meets City standards.
- 11) Storm Water Management: The stormwater management for this site will be taking the northeast corner of redevelopment and applying the current post-construction stormwater controls before this stormwater entering the existing stormwater facilities for the Blain's Farm and Fleet site. With storm sewer piping and a detention basin in the very NE corner, the full capture of the 100-year rainfall event will be released at a rate less than the existing 2-year storm, while also controlling water quality through a control structure with two operating weirs. In the event of a storm exceeding the 100-year event, there is an additional 1.05 feet of freeboard within the detention basin and outlet structure that will allow the temporary on-site capacity. **The stormwater management plan meets City requirements and will be approved by the engineering division with the Maintenance and Repair Agreement.**

TECHNICAL COMMENTS

Cedar Falls Utilities (CFU) has reviewed the Hwy 1 Site Plan for the proposed Aldi's. Water, electric, gas, and communications utility services are available in accordance with the service policies of CFU. Water is available from a privately owned 12" water

main in front of the proposed Aldi's that serves two fire hydrants, one on the east side and one on the south side of Blain's. The Aldi's preliminary construction plans incorrectly show this 12" water main as a 6" main. The construction plans show relocating the east fire hydrant. Existing valving will require the interruption of the fire protection during this hydrant relocation work. Gas services are owned, installed, and maintained by CFU. If the primary heat source for the new building is natural gas, CFU will install the gas service at no cost to the owner. Plans show the proposed electric transformer location east of the proposed building. The building electrical contractor will install the conduits and electric service from the building to the transformer. High speed fiber service for internet, cable TV, and phone is available to the building site. CFU suggests the electric construction contractor install an additional conduit from the building to the electric transformer site for future fiber installation. Please have the general contractor contact CFU for coordination of utility service locations.

Major technical comments from the City's Technical Review Committee have been addressed. Any minor remaining technical issues will be addressed before council meeting.

A courtesy notice to surrounding property owners was mailed on April 7, 2021.

STAFF RECOMMENDATION

The introduction of this site plan is for discussion and public comment only. City Staff suggests that required minor adjustments be made in the site plan be made. City staff recommends continuing the discussion at the next Planning and Zoning Meeting. The Community Development Department has reviewed this site plan and recommends approval, subject to the following conditions:

1. The developer must address all comments and directions specified by the Planning and Zoning Commission.
2. The developer's plan must conform to all city staff recommendations and technical requirements.

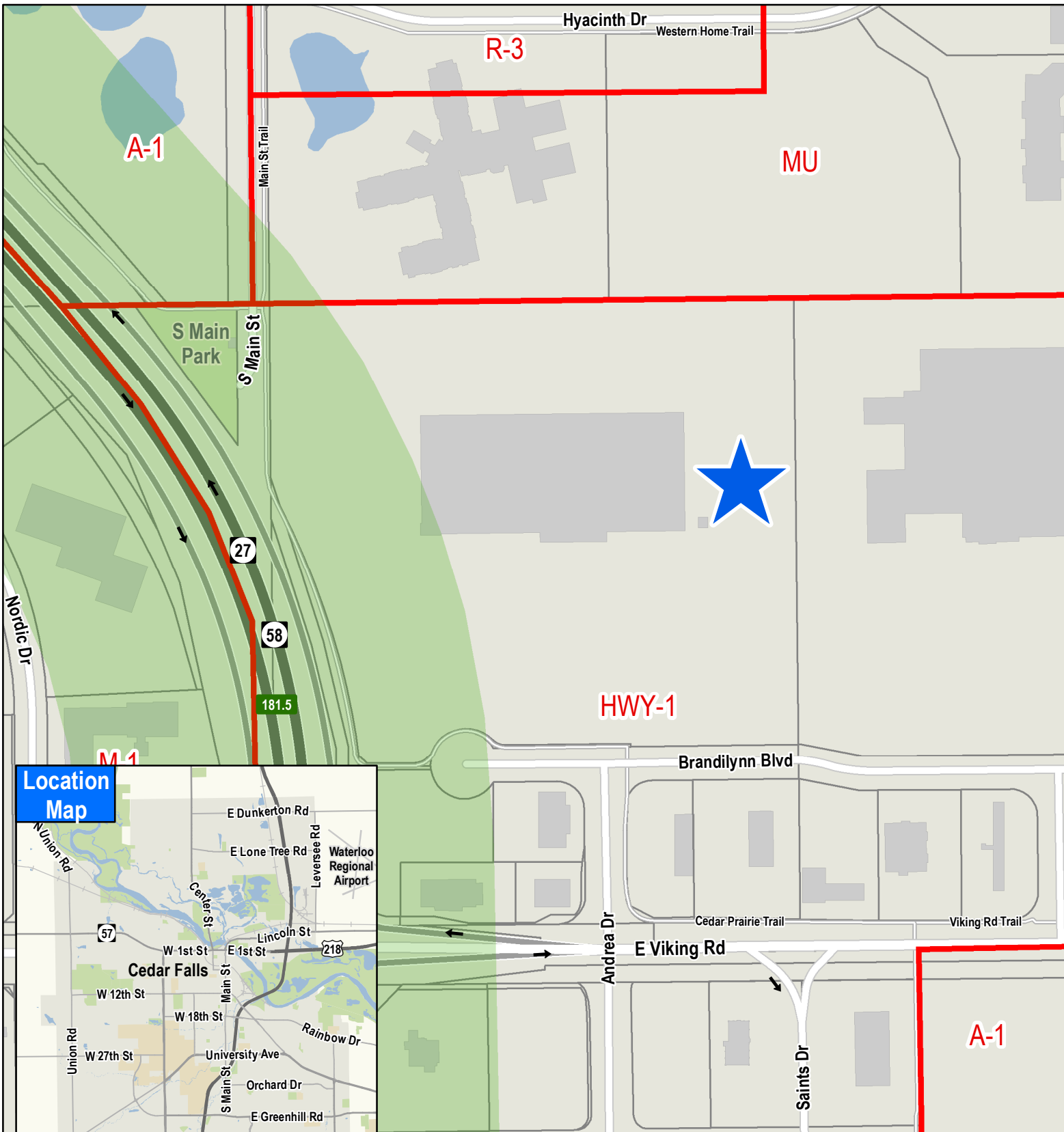
PLANNING & ZONING COMMISSION

Discussion
4/14/2021

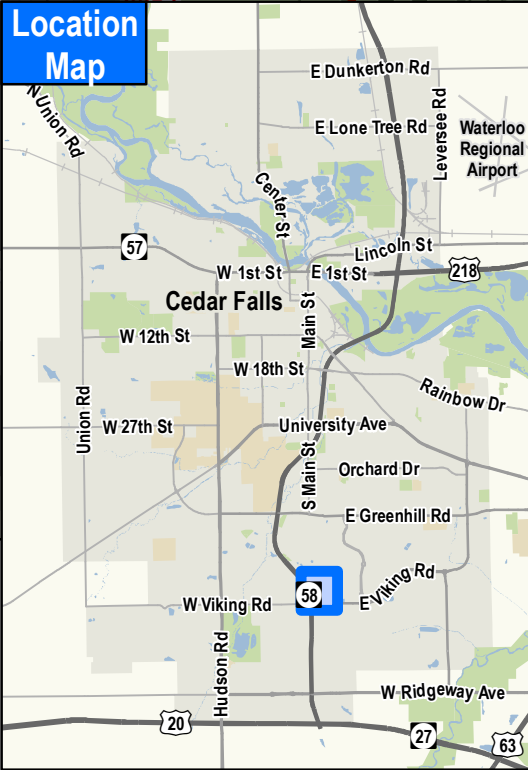
Cedar Falls Planning and Zoning Commission

April 14, 2021

Item 9.



Location Map



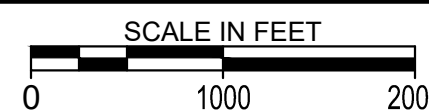
New Aldi's Grocery Store Site Plan

315 Brandilynn Blvd.



CITY OF CEDAR FALLS, IOWA

LOCATION MAP



CIVIL PLAN ABBREVIATIONS:

AC	ACRE	CJ	CONTROL JOINT	EOF	EMERGENCY OVERFLOW	GPM	GALLONS PER MINUTE	J-BOX	JUNCTION BOX	OC	ON CENTER	REBAR	REINFORCING BAR	TRANS	TRANSFORMER
ADA	AMERICANS WITH DISABILITIES ACT	CL	CENTERLINE	EQ	EQUAL	GV	GATE VALVE	JT	JOINT	OCEW	ON CENTER EACH WAY	REM	REMOVE	TV	TELEVISION
ADD	ADDENDUM	CMP	CORRUGATED METAL PIPE	EX	EXISTING	HDPE	HIGH DENSITY POLYETHYLENE	LF	LINEAR FEET	OH	OVERHEAD	ROW	RIGHT OF WAY	T/W	TOP OF WALL
AFF	ABOVE FINISHED FLOOR	CO	CLEANOUT	FDC	FIRE DEPARTMENT CONNECTION	HD	HANDHOLE	LN	LINEAR	OHD	OVERHEAD DOOR	R/W	RIGHT OF WAY	TYP	TYPICAL
AGG	AGGREGATE	CONC	CONCRETE	FDN	FOUNDATION	HH	HANDHOLE	LPS	LOW PRESSURE STEAM	OZ	OUNCE	SAN	SANITARY	UT	UTILITY, UNDERGROUND
APPROX	APPROXIMATE	CONST	CONSTRUCTION	FFE	FINISHED FLOOR ELEVATION	HRIZ	HORIZONTAL	LS	LUMP SUM	PED	PEDESTAL, PEDESTRIAN	SCH	SCHEDULE	VCP	VITRIFIED CLAY PIPE
ARCH	ARCHITECT, ARCHITECTURAL	CONT	CONTINUOUS	FPM	FEET PER MINUTE	HR	HOUR	LSO	LOWEST STRUCTURAL OPENING	PERF	PERFORATED	SF	SQUARE FOOT	W/O	WITHOUT
BFE	BASMENT FLOOR ELEVATION	CY	CUBIC YARD	FPS	FEET PER SECOND	HWL	HIGH WATER LEVEL	MAX	MAXIMUM	PL	PROPERTY LINE	SPEC	SPECIFICATION	W/	WITH
BIT	BITUMINOUS	C&G	CURB AND GUTTER	FT	FOOT, FEET	HWY	HIGHWAY	MB	MAIL BOX	PP	POLYPROPYLENE	SQ	SQUARE	WJ	WITH
CAD	COMPUTER-AIDED DESIGN	DEMO	DEMOLITION	FTG	FOOTING	HYD	HYDRANT	MECH	MECHANICAL	PSI	POUNDS PER SQUARE INCH	STA	STATION	YD	YARD
CB	CATCH BASIN	DIA	DIAMETER	GAL	GALLON	I	INVERT	MH	MANHOLE	PVC	POLYVINYL CHLORIDE	SY	SQUARE YARD	YR	YEAR
CFS	CUBIC FEET PER SECOND	DIM	DIMENSION	GALV	GALVANIZED	MIN	MINIMUM	PVMT	PAVEMENT	QTY	QUANTITY	T/C	TOP OF CURB		
CF	CUBIC FOOT	DS	DOWNSPOUT	GC	GENERAL CONTRACTOR	IN	INCH	MISC	MISCELLANEOUS	RAD	RADIUS	TEL	TELEPHONE		
CI	CAST IRON	EA	EACH	GC	GENERAL CONTRACTOR	INV	INVERT	NO	NUMBER	RD	ROOF DRAIN	TEMP	TEMPORARY		
CIP	CAST IRON PIPE	ELEC	ELECTRICAL	GFE	GARAGE FLOOR ELEVATION	IP	IRON PIPE	NTS	NOT TO SCALE	RCP	REINFORCED CONCRETE PIPE	THRU	THROUGH		
CIPC	CAST IN PLACE CONCRETE	ELEV	ELEVATION	GL	GUTTER LINE	IPS	IRON PIPE SIZE	NWL	NORMAL WATER LEVEL	RD	ROOF DRAIN	TNHF	TOP NUT OF FIRE HYDRANT		

PROJECT ADDRESS / LOCATION:

**219 BRANDILYNN BLVD
CEDAR FALLS, IOWA 50613**

**BLACKHAWK COUNTY
S25 T89N R14W**

SITE SUMMARY

ZONING:	HWY-1, HIGHWAY COMMERCIAL DISTRICT		
	ALDI SITE	BLAIN'S SITE	TOTAL SITE
SITE/LOT AREA:	192,252 SF / 4.413 AC.	731,739 SF / 16.799 AC.	923,991 SF / 21.212 AC.
IMPERVIOUS AREA:	128,066 SF / 2.940 AC.	634,974 SF / 14.577 AC.	763,040 SF / 17.517 AC.
GREENSPACE PROVIDED:	64,144 SF / 1.473 AC.	96,806 SF / 2.222 AC.	160,950 SF / 3.695 AC.
PARKING REQUIREMENTS (PER CITY CODE)			
TYPE	UNIT / AREA	STALLS REQUIRED	STALLS PROVIDED
10'x20'	4.5 / 1000 SF	92	166
ADA ACCESSIBLE		6	6
TOTAL:			172
SETBACKS			
		PARKING	BUILDING
FRONT YARD		20'-0"	30'-0"
SIDE YARD		20'-0"	20'-0"
REAR YARD		20'-0"	20'-0"

PROJECT GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS AND CLARIFICATIONS ISSUED BY THE ARCHITECT/ENGINEER.
- CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN, WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
- THE LOCATION AND TYPE OF ALL INPLACE UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS AND ELEVATIONS OF ALL INPLACE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- THE CONTRACTOR IS TO CONTACT "IOWA ONE CALL" FOR UTILITY LOCATIONS, MINIMUM 2 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (1-800-292-8989).

SPECIFICATIONS REFERENCE

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF CEDAR FALLS REQUIREMENTS AND WITH THE 2018 EDITION OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) FOR PUBLIC IMPROVEMENTS, UNLESS DIRECTED OTHERWISE.

PROJECT DATUM

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), ZONE, ON THE IA RCS ZONE 5 COORDINATE SYSTEM, IN U.S. SURVEY FEET. ELEVATIONS HAVE BEEN REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). RTK GPS METHODS WERE USED TO ESTABLISH HORIZONTAL AND VERTICAL COORDINATES FOR THIS PROJECT.

TOPOGRAPHIC SURVEY

THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED IN JANUARY / 2021 BY ISG, INC.

CONSTRUCTION STAKING

OWNER TO PROVIDE 10 TRIPS TO THE CONSTRUCTION SITE FOR STAKING PURPOSES. STAKING SHALL INCLUDE ANY COMBINATION OF THE FOLLOWING: GRIDLINES WITH OFFSETS, ROUGH GRADE STAKING, UTILITIES, CURB & GUTTER, LIGHT POLES, SIGNS, SIDEWALK. ANY ADDITIONAL SURVEY WORK NEEDED OR REQUIRED SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EMPLOY AND PAY ISG, INC. CONTACT RYAN ANDERSON WITH ISG, INC. AT (952) 426-0699 FOR PRICING INFORMATION.

B.M. ELEVATION=964.26

TNHF LOCATED 17 FEET BACK OF SOUTH CURB LINE OF BRANDILYNN BLVD. APPROXIMATELY 75 FEET SOUTH OF THE SOUTHEAST PROPERTY CORNER

LEGEND

EXISTING		CITY LIMITS
---		SECTION LINE
---		QUARTER SECTION LINE
---		RIGHT OF WAY LINE
---		PROPERTY / LOT LINE
---		EASEMENT LINE
---		ACCESS CONTROL
---		WATER EDGE
---		WETLAND BOUNDARY
---		WETLAND / MARSH
---		FENCE LINE
---		CULVERT
---		STORM SEWER
---		SANITARY SEWER
---		SANITARY SEWER FORCEMAIN
---		WATER
---		GAS
---		OVERHEAD ELECTRIC
---		UNDERGROUND ELECTRIC
---		UNDERGROUND TELEPHONE
---		UNDERGROUND TV
---		OVERHEAD UTILITY
---		UNDERGROUND UTILITY
---		UNDERGROUND FIBER OPTIC
---		CONTOUR (MAJOR)
---		CONTOUR (MINOR)
---		DECIDUOUS TREE
---		CONIFEROUS TREE
---		TREE LINE
---		MANHOLE/STRUCTURE
---		CATCH BASIN
---		HYDRANT
---		VALVE
---		CURB STOP
---		POWER POLE
---		UTILITY PEDESTAL / CABINET
PROPOSED		LOT LINE
---		RIGHT OF WAY
---		EASEMENT
---		CULVERT
---		STORM SEWER
---		STORM SEWER (PIPE WIDTH)
---		SANITARY SEWER
---		SANITARY SEWER (PIPE WIDTH)
---		WATER
---		GAS
---		OVERHEAD ELECTRIC
---		UNDERGROUND ELECTRIC
---		UNDERGROUND TV
---		CONTOUR
---		MANHOLE
---		CATCH BASIN
---		HYDRANT
---		VALVE

CIVIL SHEET INDEX

- C-010 SITE DATA
- C-020 SITE DETAILS
- C-021 SITE DETAILS
- C-022 SITE DETAILS
- C-023 SITE DETAILS
- C-024 SITE DETAILS
- C-025 PYLON SIGN DETAILS
- C-110 SITE EROSION CONTROL PLAN
- C-120 SITE EROSION CONTROL DETAILS
- C-210 EXISTING SITE & REMOVAL PLAN
- C-300 OVERALL SITE PLAN
- C-310 SITE PLAN
- C-320 SITE UTILITY PLAN
- C-321 BUILDING DETAIL PLAN
- C-410 SITE GRADING PLAN
- C-420 BUILDING GRADING PLAN
- C-510 SITE RESTORATION & PLANTING PLAN
- C-520 SITE PLANTING NOTES & DETAILS
- C-610 SITE LIGHTING PHOTOMETRICS PLAN
- C-620 SIGHT LIGHTING CATALOGUE PAGES

Issued:	Date:
A SITE PLAN SUBMITTAL	02/19/21
B PERMIT SET	03/19/21
C BID SET	04/05/21
D	
E	
Revisions:	Date:
1	
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MANAGING LOCATION:
MINNEAPOLIS / ST. PAUL OFFICE
7900 INTERNATIONAL DRIVE
INTERNATIONAL PLAZA, SUITE 550
MINNEAPOLIS, MN 55425
PHONE: 952.426.0699



ALDI Inc. Store #: 64
CEDAR FALLS, IA
219 BRANDILYNN BLVD
CEDAR FALLS, IA 50613
BLACKHAWK COUNTY
Project Name & Location:

SITE DATA

Drawing Name:	ISG Project No.
Type: v7.0 ER	16-19997
Drawn By: JMF	C-010
Designed By: JMF	Drawing No.
Reviewed By: RJA	

SEAL

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

ANDREW T. BRANDEL

PRINTED SIGNATURE: *Andrew T. Brandel* 04/05/21

SIGNATURE: _____ SIGNATURE DATE: _____

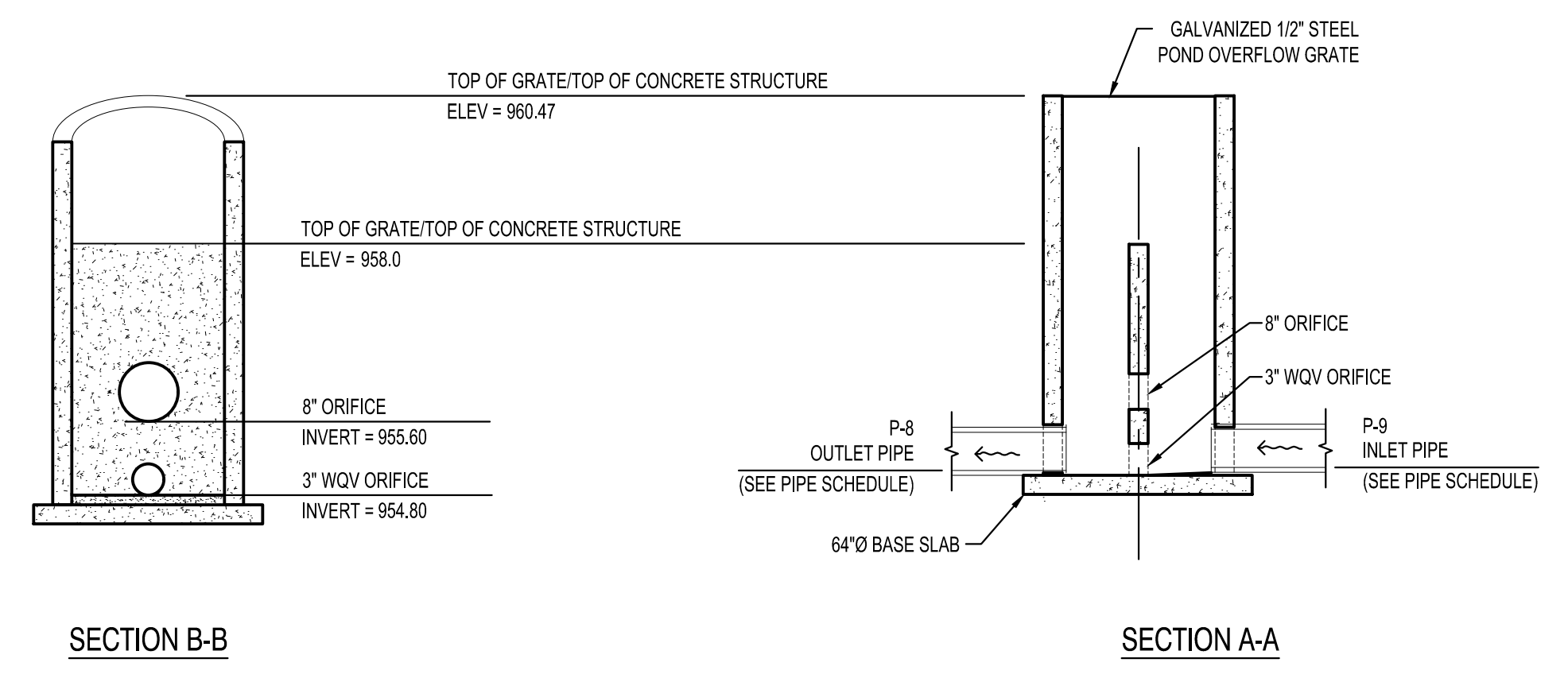
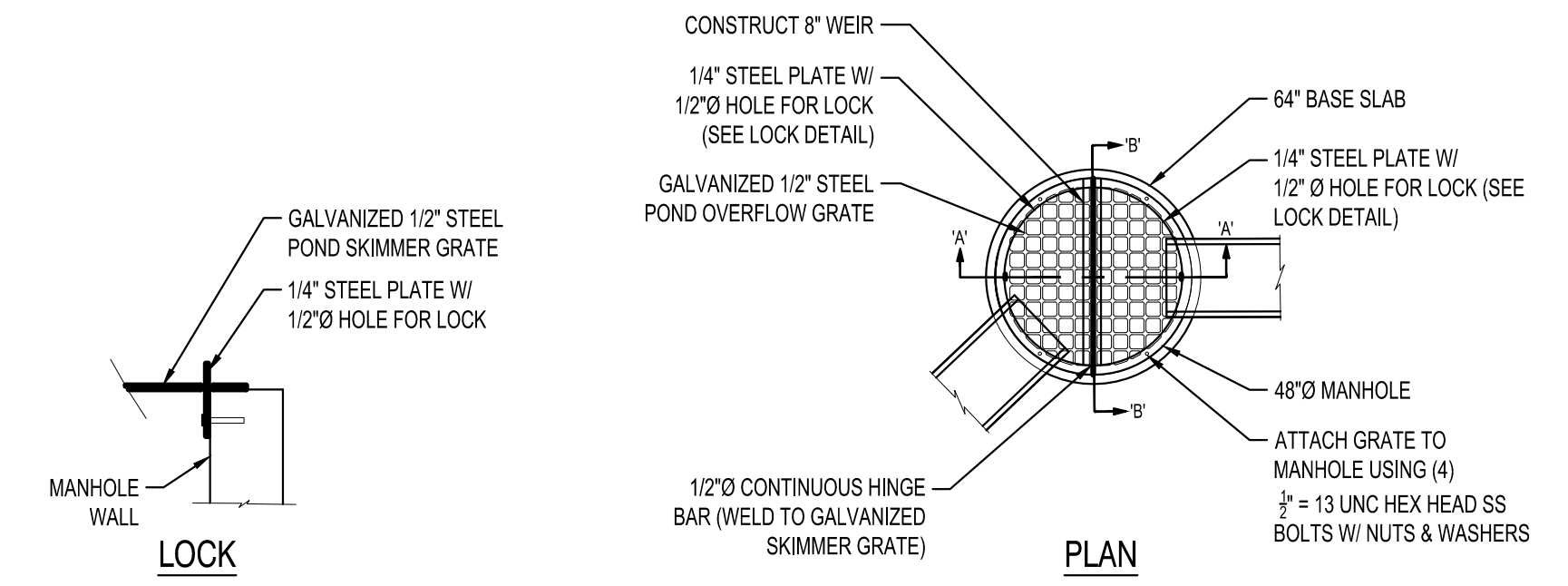
12-31-2021

REGISTRATION EXPIRES

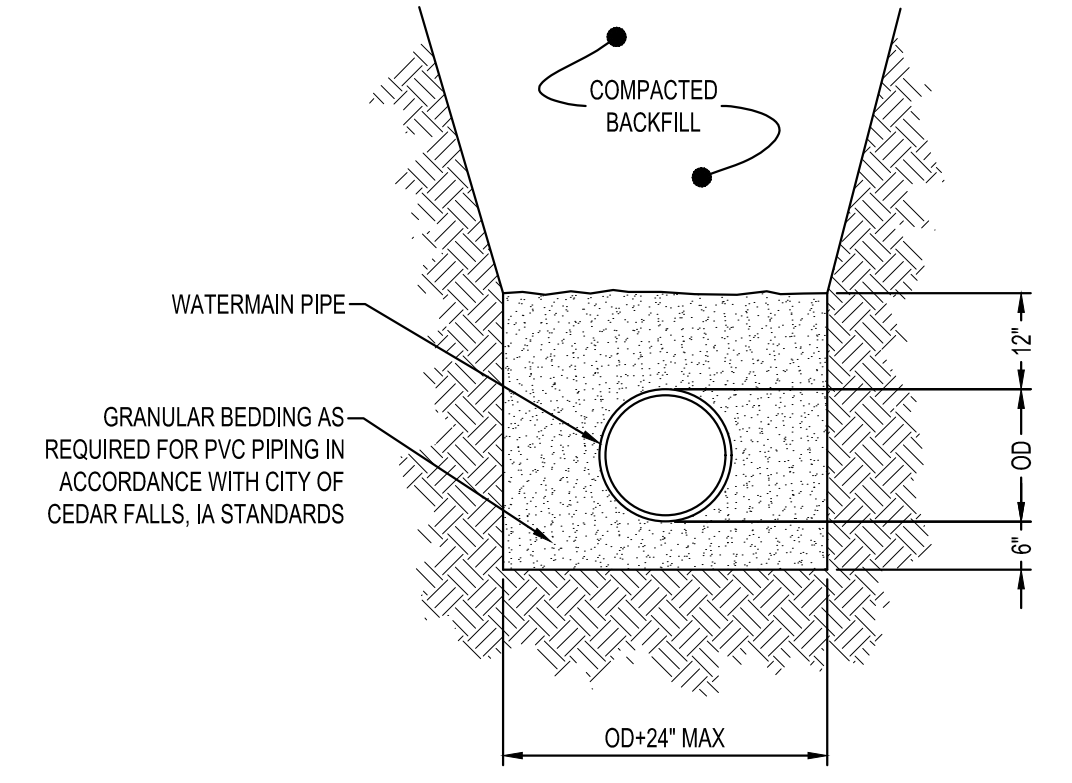
SHEETS COVERED BY THIS SEAL C-010 - C-620

Issued:	Date:
A SITE PLAN SUBMITTAL	02/19/21
B PERMIT SET	03/19/21
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Revisions:	Date:
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NOTES:
 GRIND EXPOSED FIELD & SHOP WELDS FLUSH WITH ADJACENT SURFACES.
 AFTER FABRICATION, GALVANIZE STRUCTURAL SHAPES AND MISCELLANEOUS ITEMS IN ACCORDANCE WITH ASTM A123.
 REPAIR DAMAGED & SCRATCHED GALVANIZED COATINGS AFTER INSTALLATION
 GROUT AROUND ALL PIPES ON INSIDE AND OUTSIDE OF MANHOLE

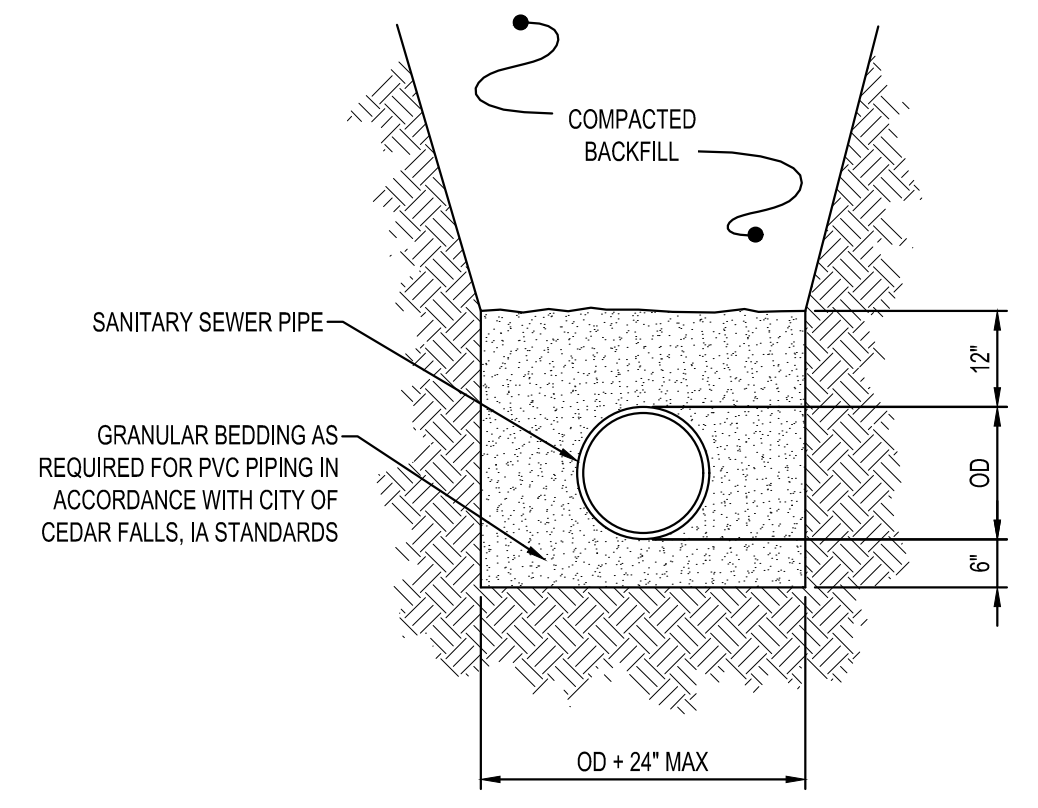


**A-3 (SW-401)
 POND OUTLET STRUCTURE**
 NTS



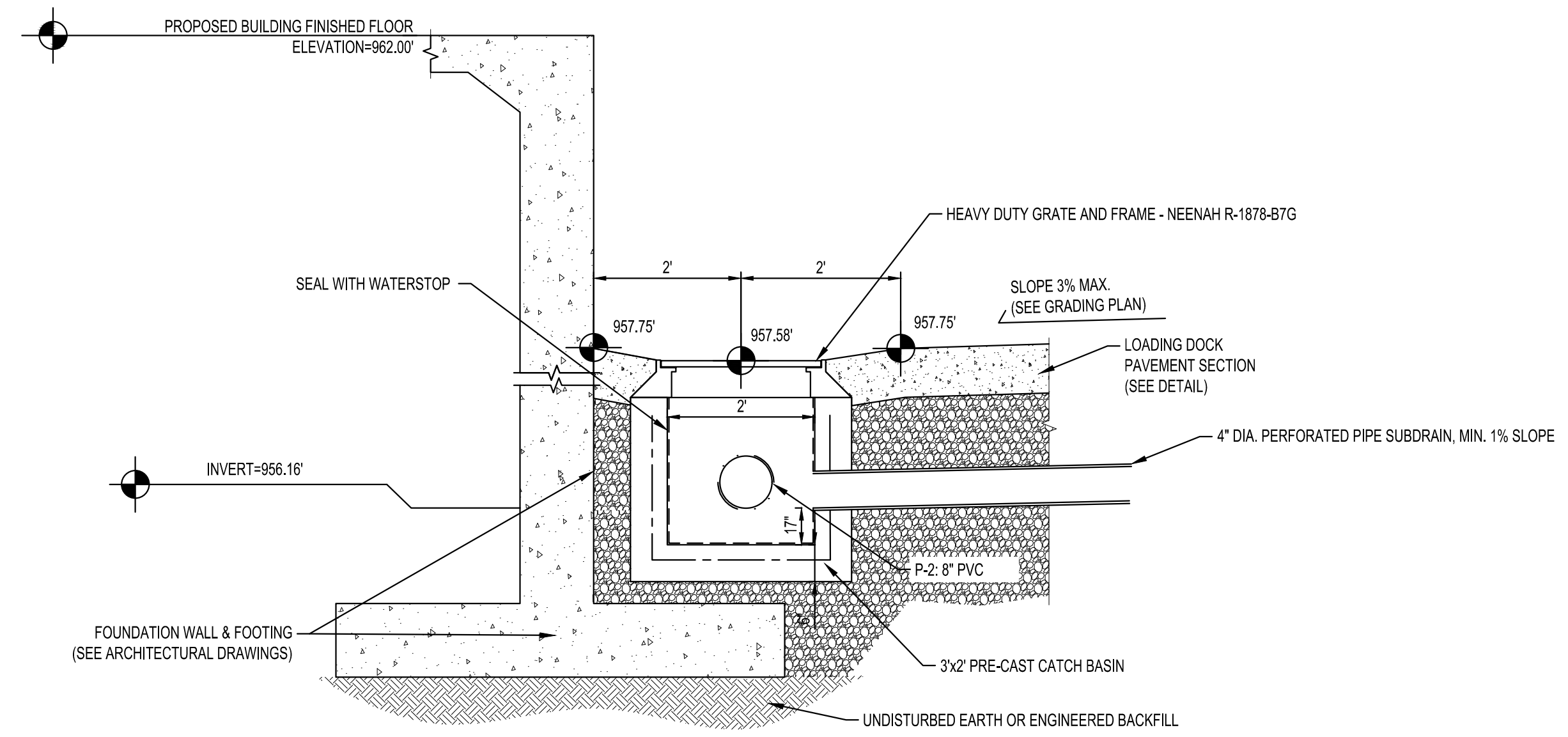
NOTE:
 GRANULAR BEDDING AND ENCASEMENT FOR WATERMAIN PIPES SHALL BE INCIDENTAL TO CONSTRUCTION

**PIPE BEDDING
 WATER MAIN**
 NTS WM300

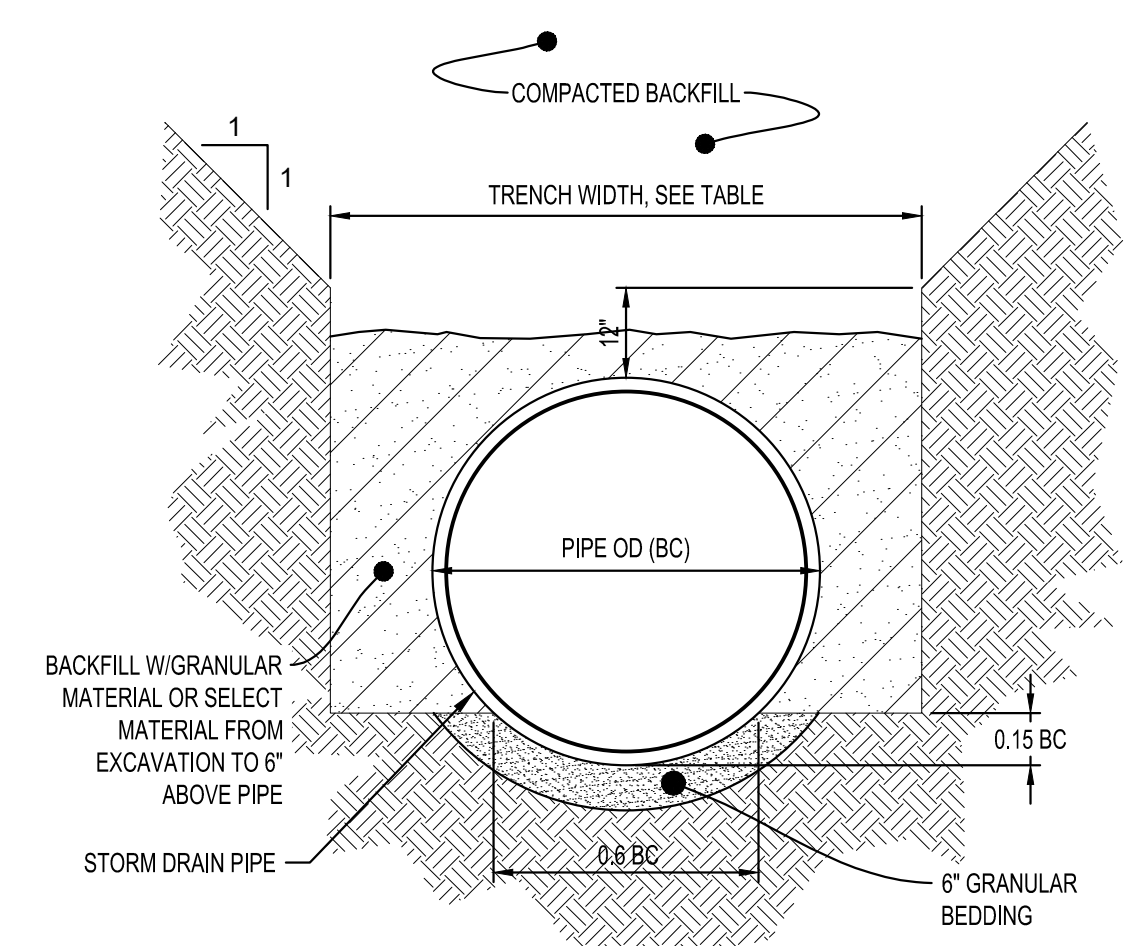


NOTES:
 GRANULAR BEDDING AND ENCASEMENT FOR SANITARY SEWER PIPES SHALL BE INCIDENTAL TO CONSTRUCTION

**PIPE BEDDING
 SANITARY SEWER**
 NTS SA400



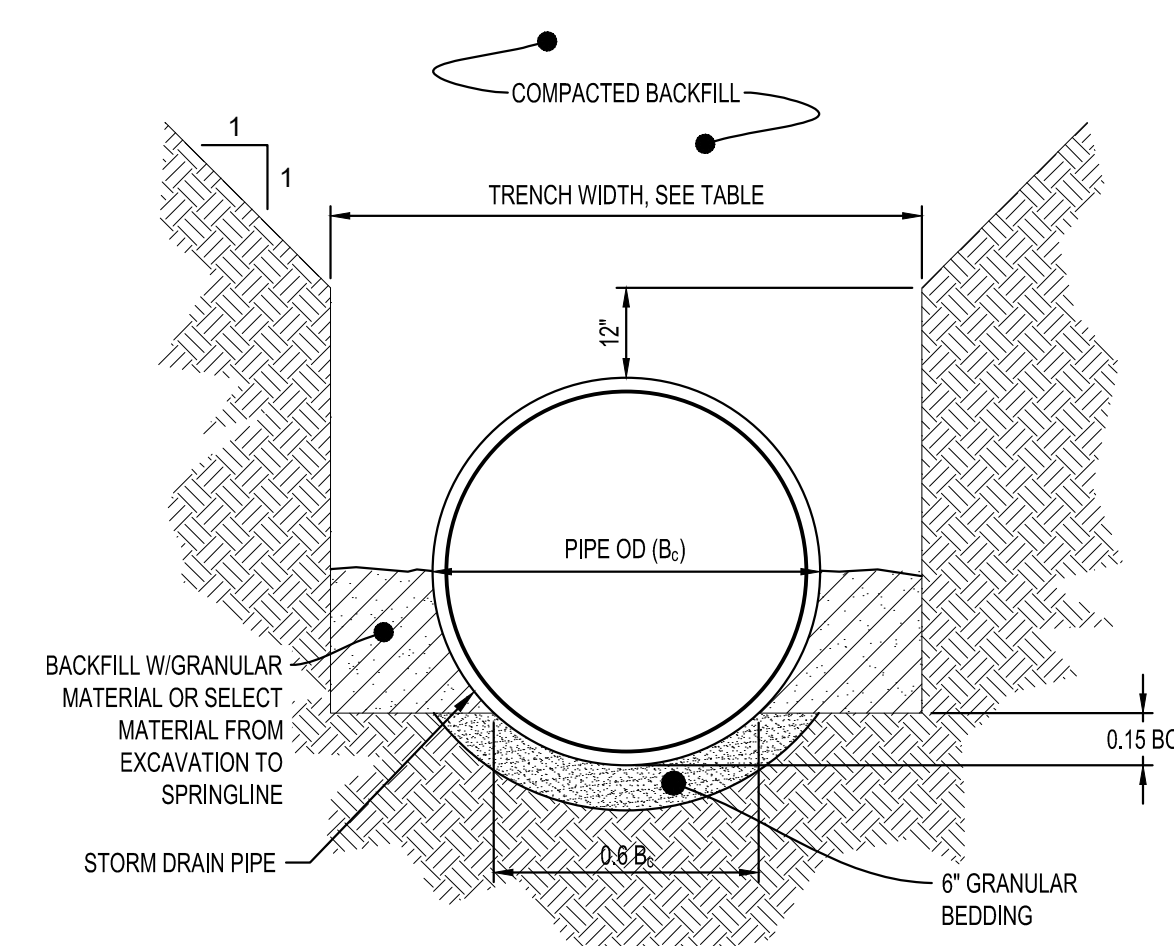
LOADING DOCK CATCH BASIN A-2 DETAIL
 N.T.S.



TRENCH WIDTH	
PIPE Ø	TRENCH WIDTH
36" OR LESS	BC + 24"
42" TO 54"	1.5 x BC
60" OR OVER	BC + 36"

NOTES:
 GRANULAR BEDDING AND BACKFILL FOR STORM DRAIN PIPES SHALL BE INCIDENTAL TO STORM DRAIN CONSTRUCTION

**NON-CONCRETE
 STORM DRAIN PIPE BEDDING**
 NTS SD600



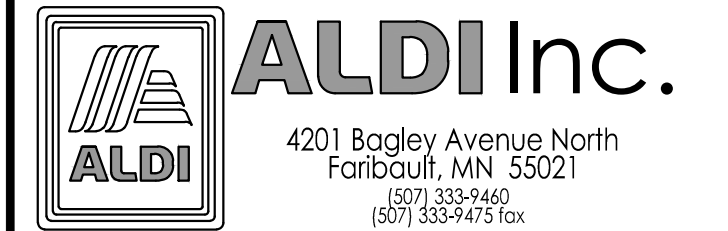
TRENCH WIDTH	
PIPE Ø	TRENCH WIDTH
36" OR LESS	Bc + 24"
42" TO 54"	1.5 x Bc
60" OR OVER	Bc + 36"

NOTES:
 GRANULAR BEDDING AND BACKFILL FOR STORM DRAIN PIPES SHALL BE INCIDENTAL TO STORM DRAIN CONSTRUCTION

**REINFORCED CONCRETE
 STORM DRAIN PIPE BEDDING**
 NTS SD601



MANAGING LOCATION:
MINNEAPOLIS / ST. PAUL OFFICE
 7900 INTERNATIONAL DRIVE
 INTERNATIONAL PLAZA, SUITE 550
 MINNEAPOLIS, MN 55425
 PHONE: 952.426.0699

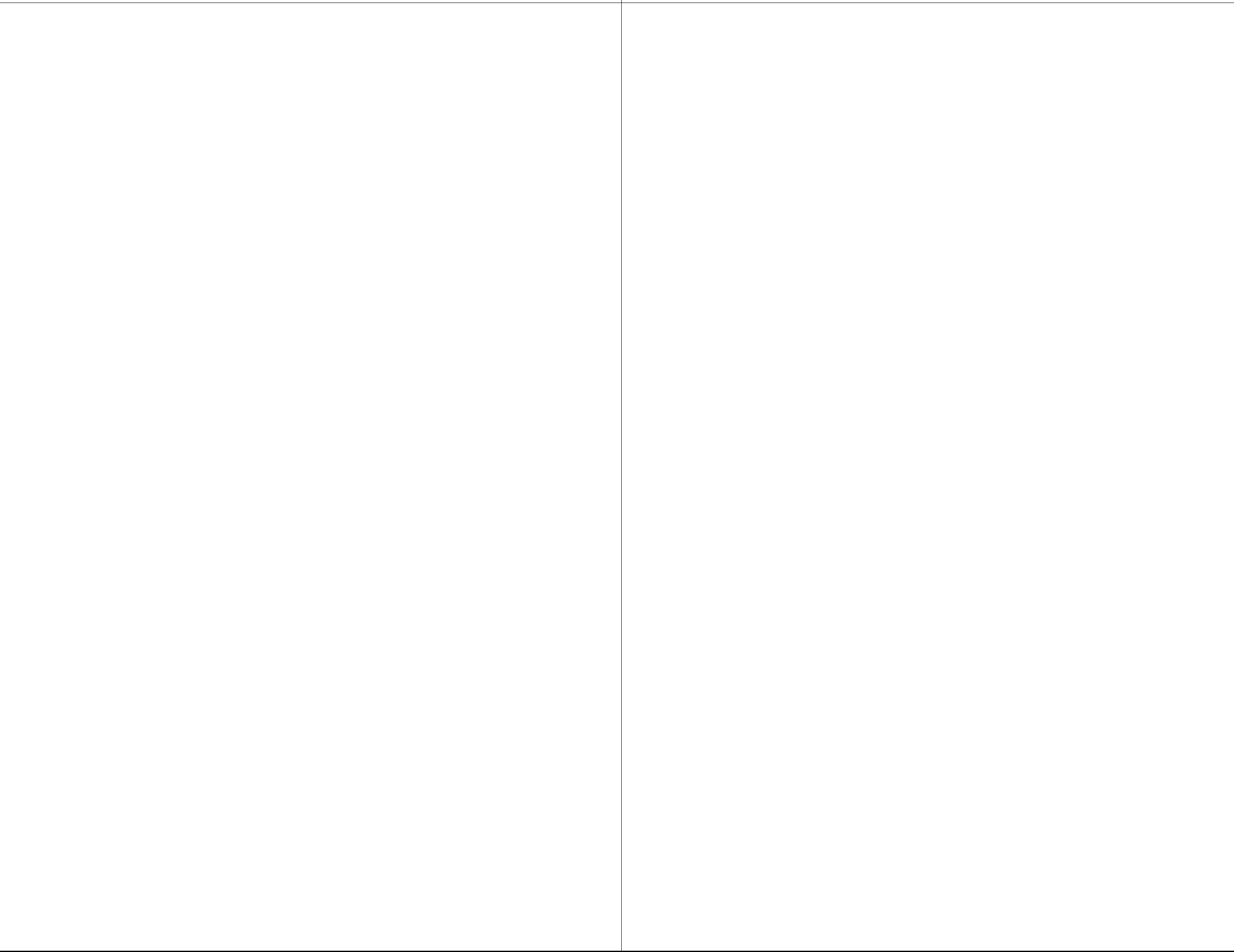
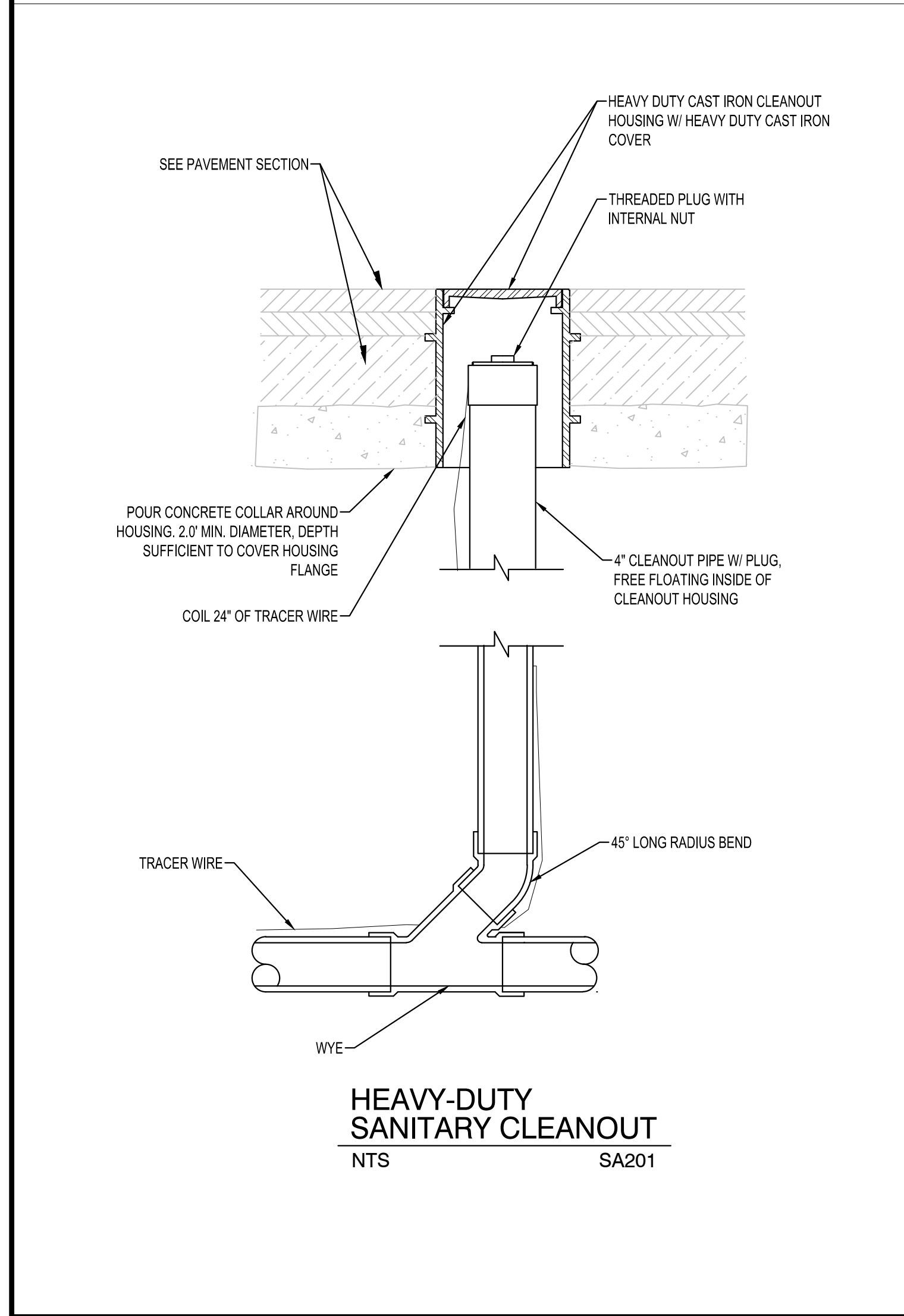
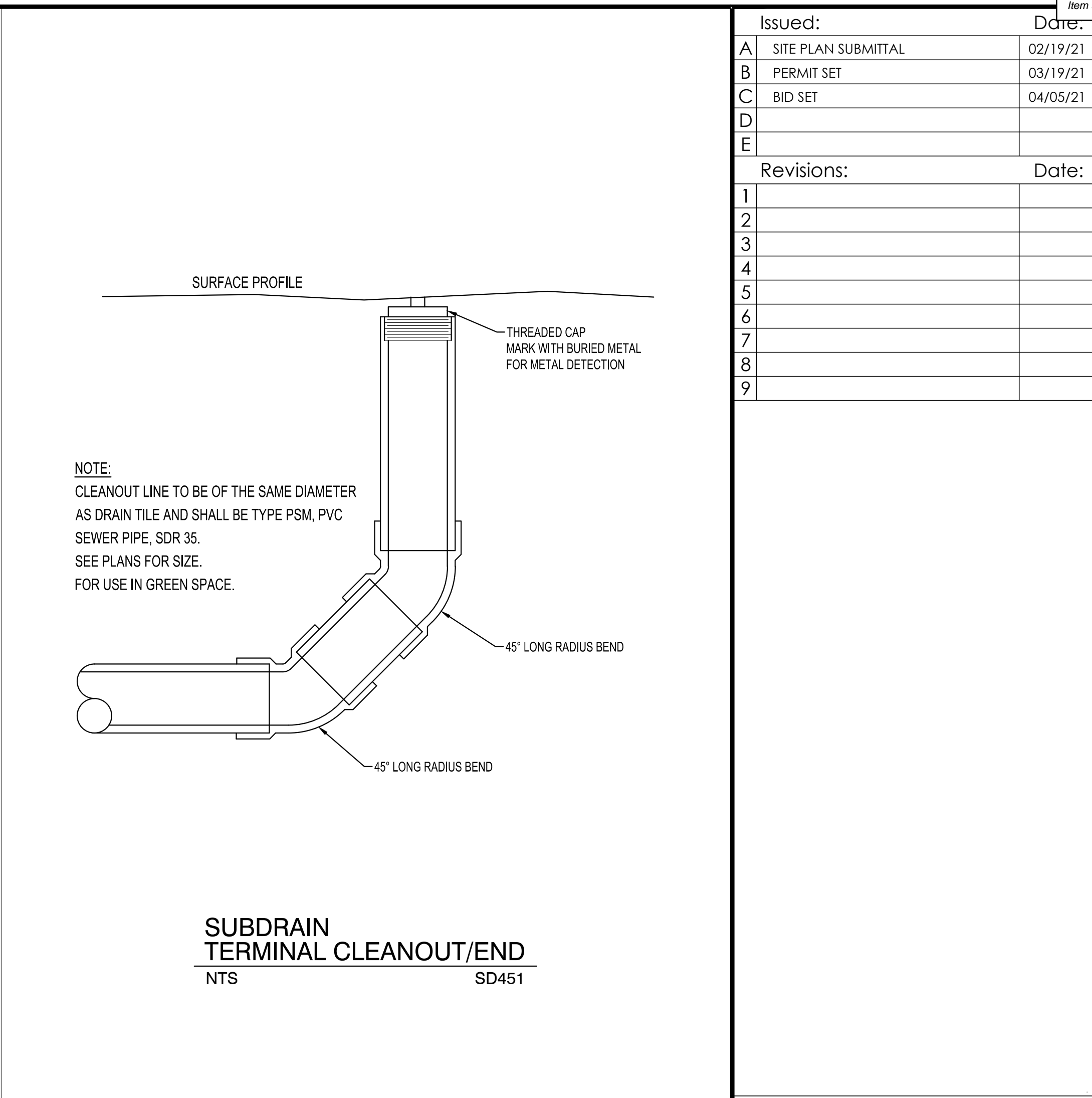
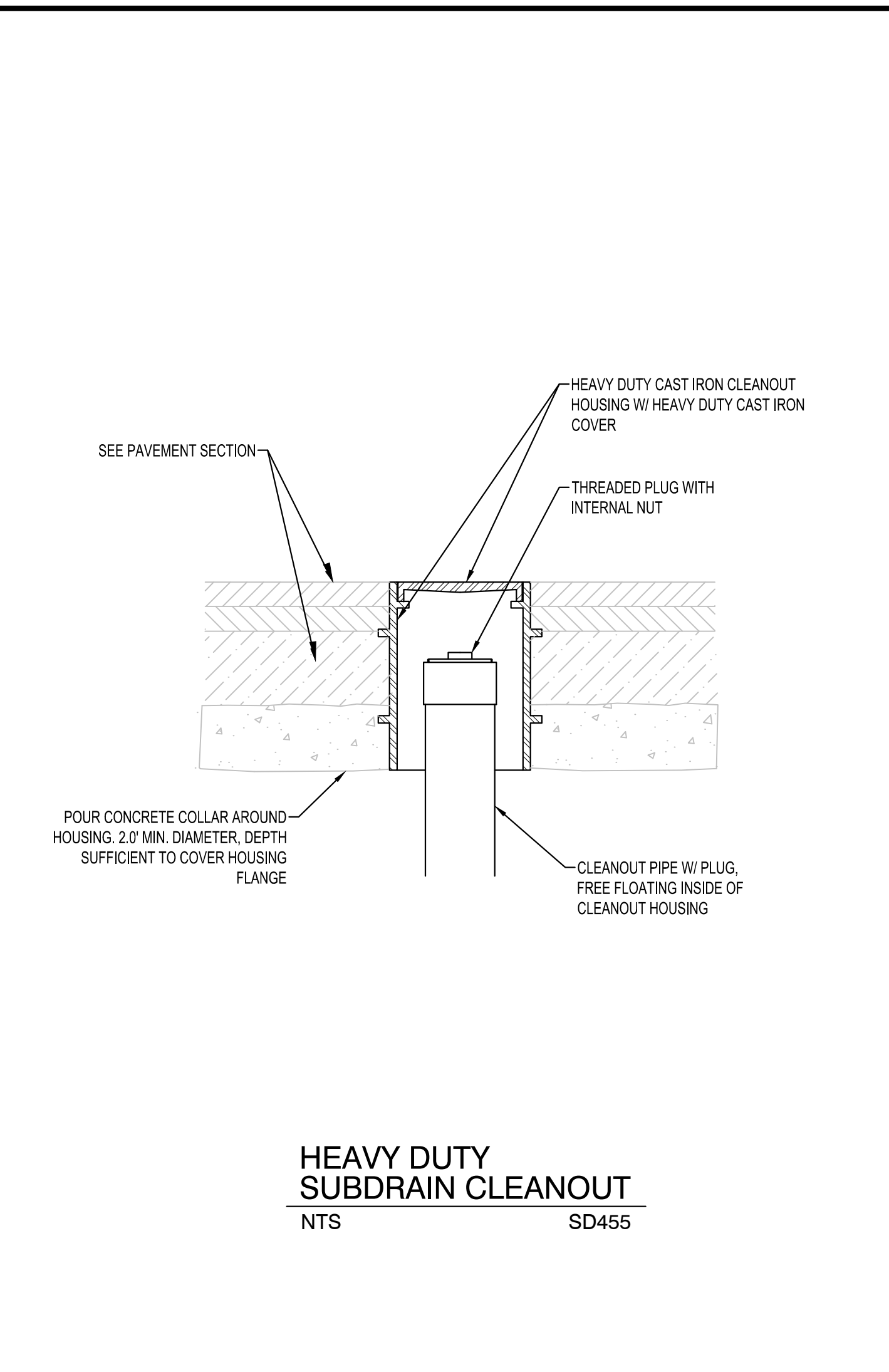
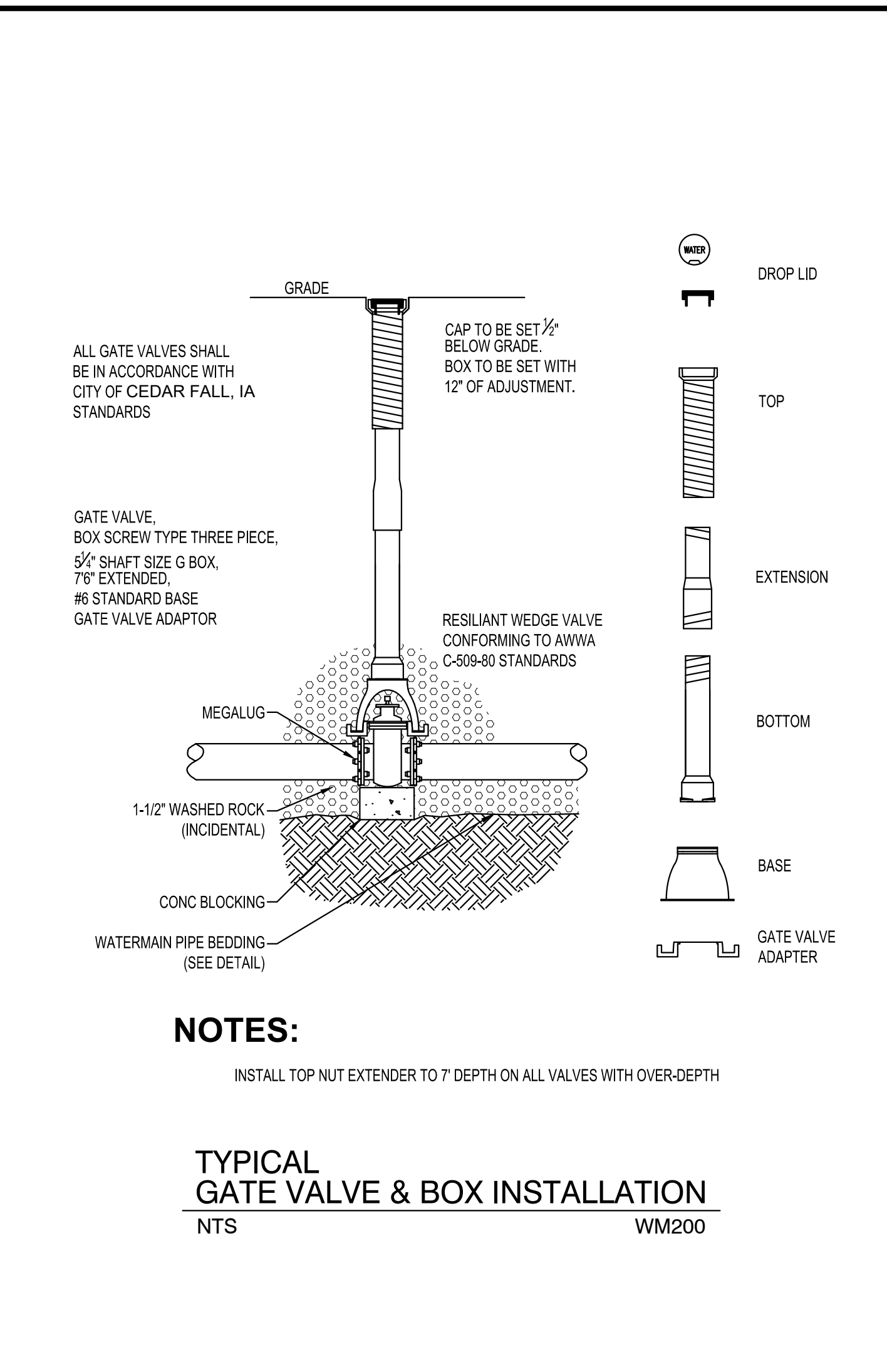
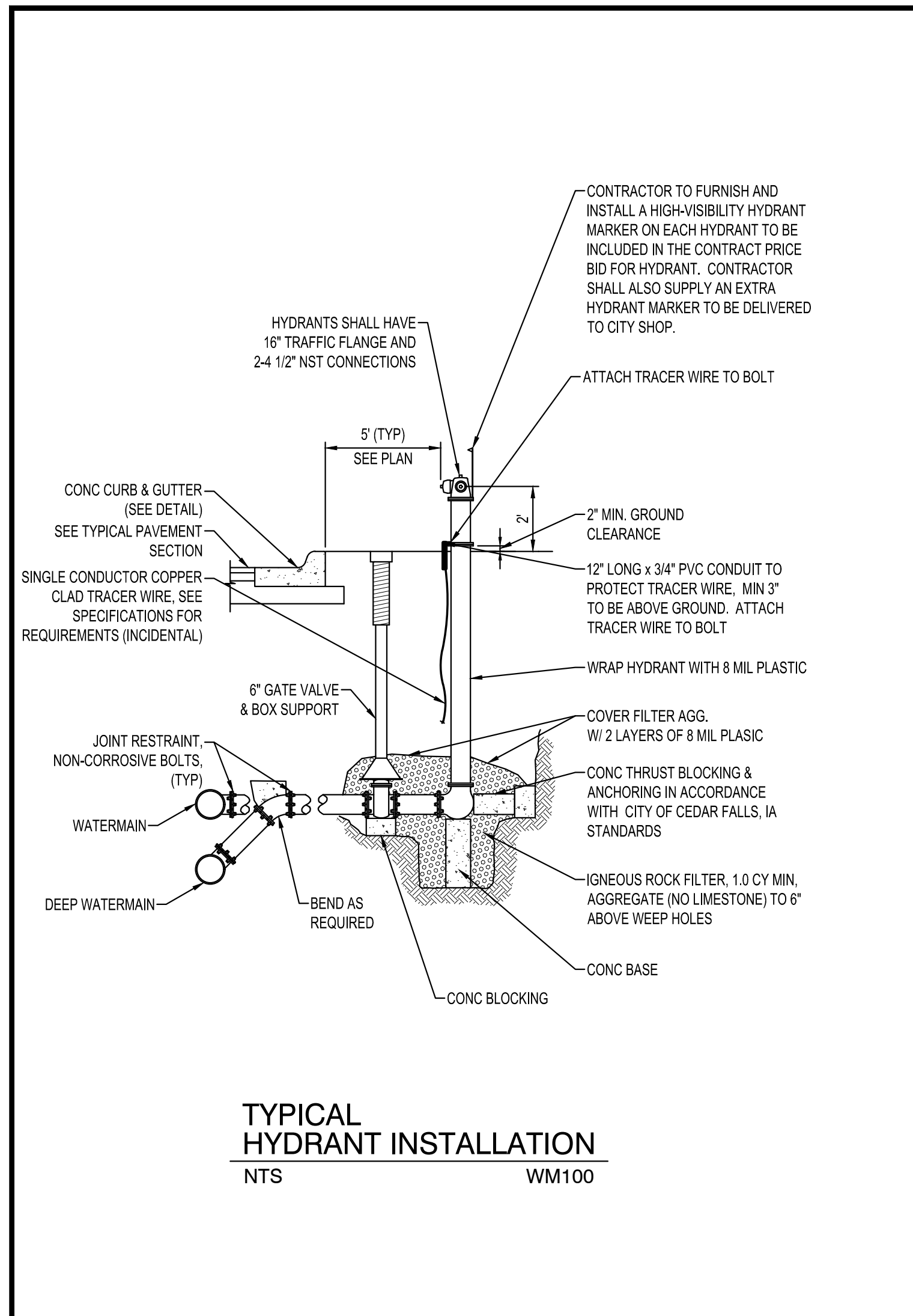



ALDI Inc. Store #: 64
CEDAR FALLS, IA
 219 BRANDILYNN BLVD
 CEDAR FALLS, IA 50613
 BLACKHAWK COUNTY
 Project Name & Location:

SITE DETAILS


Drawing Name:	ISG Project No.
Type: V7.0 ER	16-19997
Drawn By: JMF	
Designed By: JMF	C-021
Reviewed By: RJA	Drawing No.

Issued:		Date:
A	SITE PLAN SUBMITTAL	02/19/21
B	PERMIT SET	03/19/21
C	BID SET	04/05/21
D		
E		
Revisions:		Date:
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MANAGING LOCATION:
MINNEAPOLIS / ST. PAUL OFFICE
7900 INTERNATIONAL DRIVE
INTERNATIONAL PLAZA, SUITE 550
MINNEAPOLIS, MN 55425
PHONE: 952.426.0699



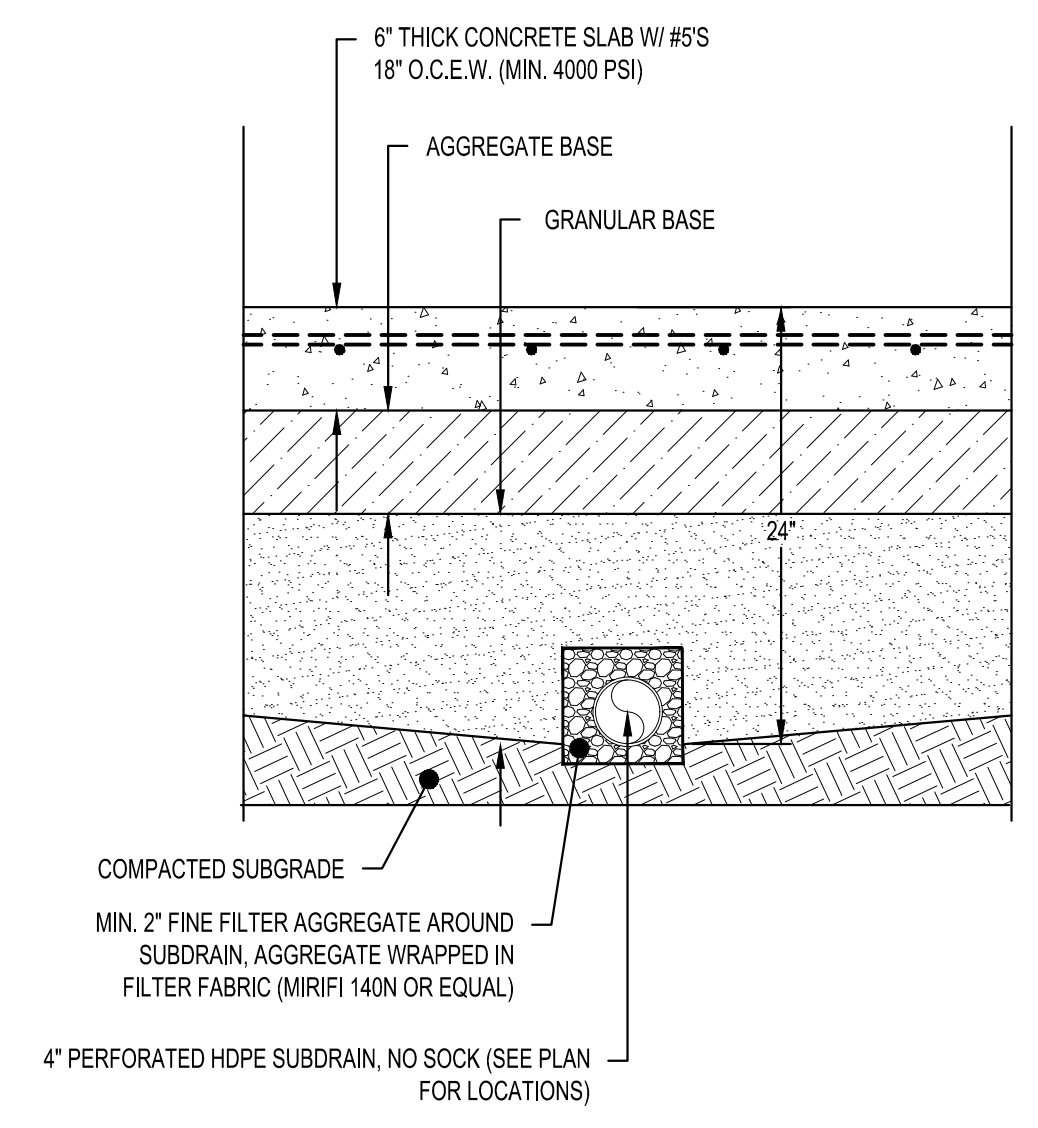
ALDI Inc.
4201 Bagley Avenue North
Faribault, MN 55021
(507) 333-7460
(507) 333-9475 Fax

ALDI Inc. Store #: 64
CEDAR FALLS, IA
219 BRANDILYNN BLVD
CEDAR FALLS, IA 50613
BLACKHAWK COUNTY
Project Name & Location:

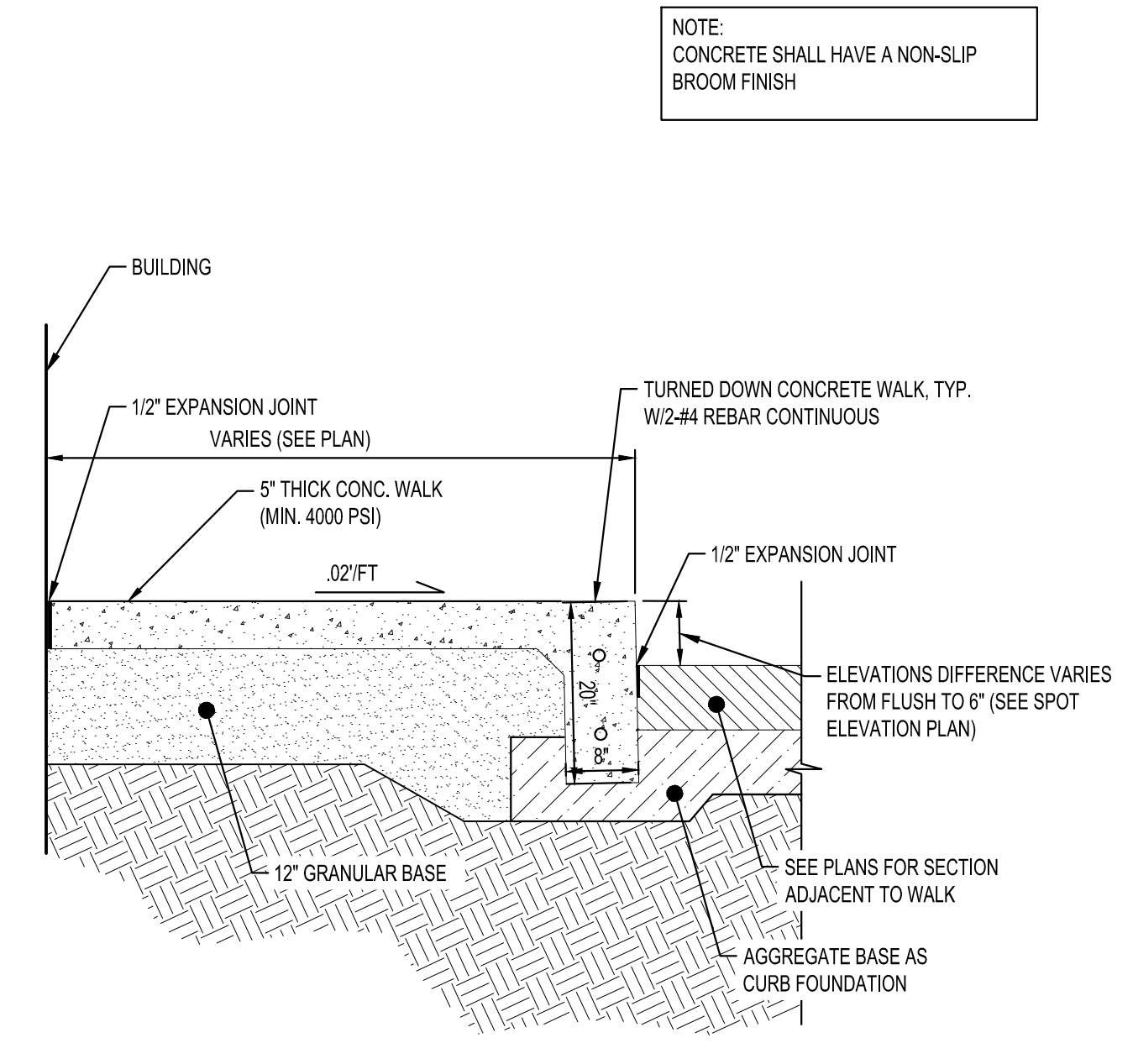
SITE DETAILS

Drawing Name:		ISG Project No.
Type:	V7.0 ER	16-19997
Drawn By:	JMF	
Designed By:	JMF	C-022
Reviewed By:	RJA	Drawing No.

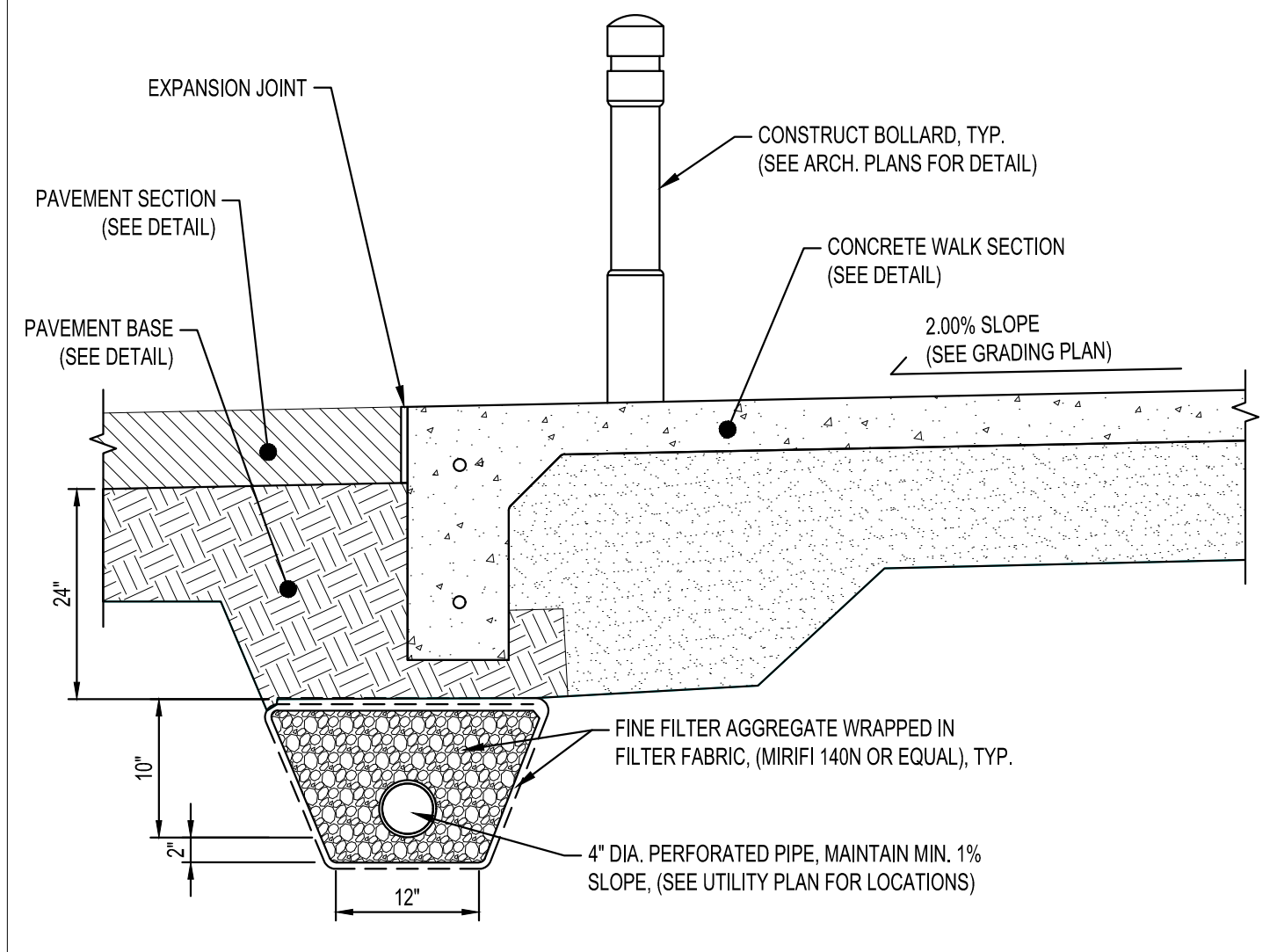
Issued:		Date:
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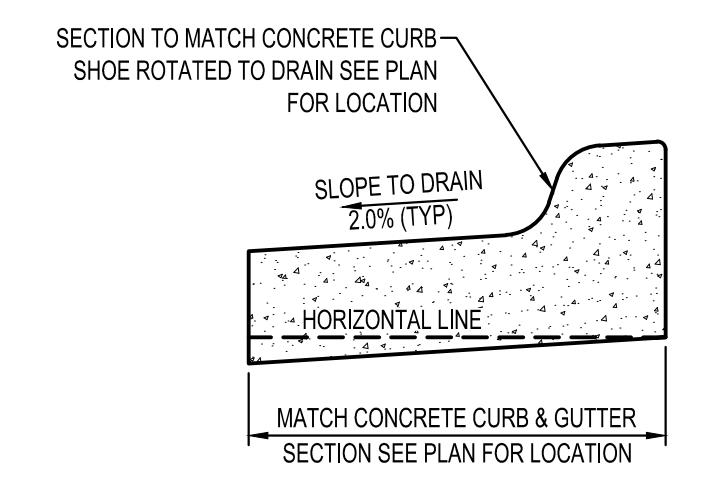
LOADING DOCK PAVEMENT SECTION
N.T.S.



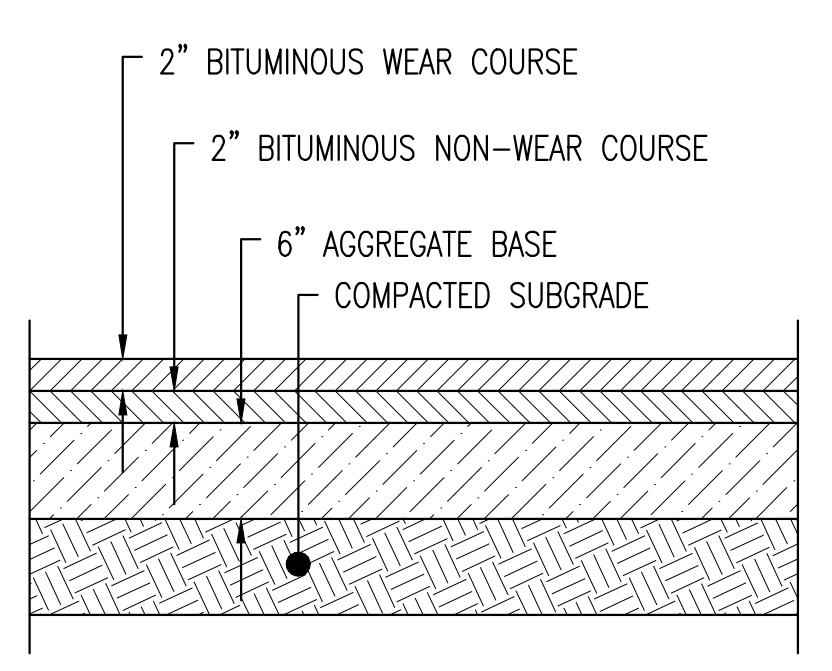
TURN DOWN CONCRETE WALK SECTION
N.T.S.



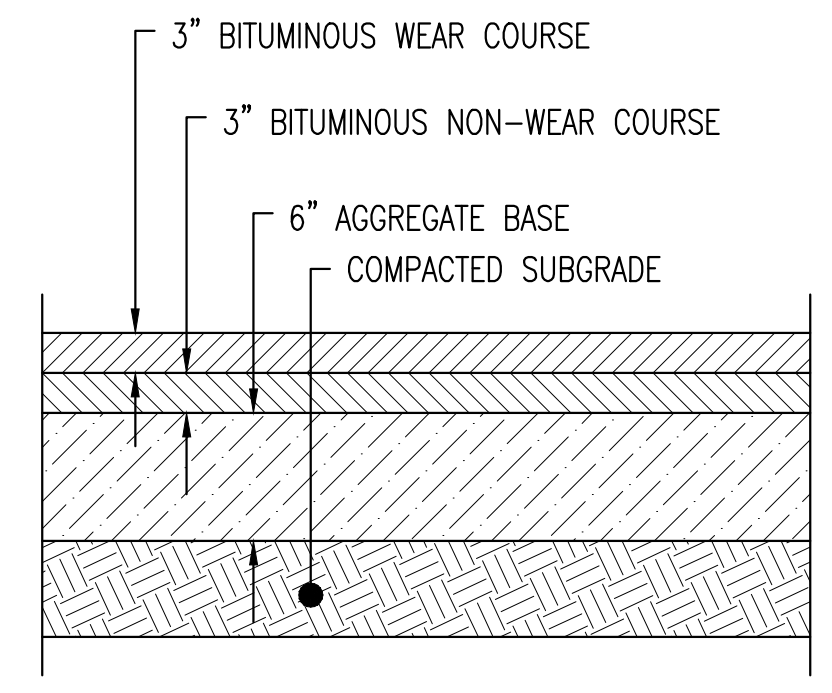
BUILDING SIDEWALK DRAIN TILE SECTION
N.T.S.



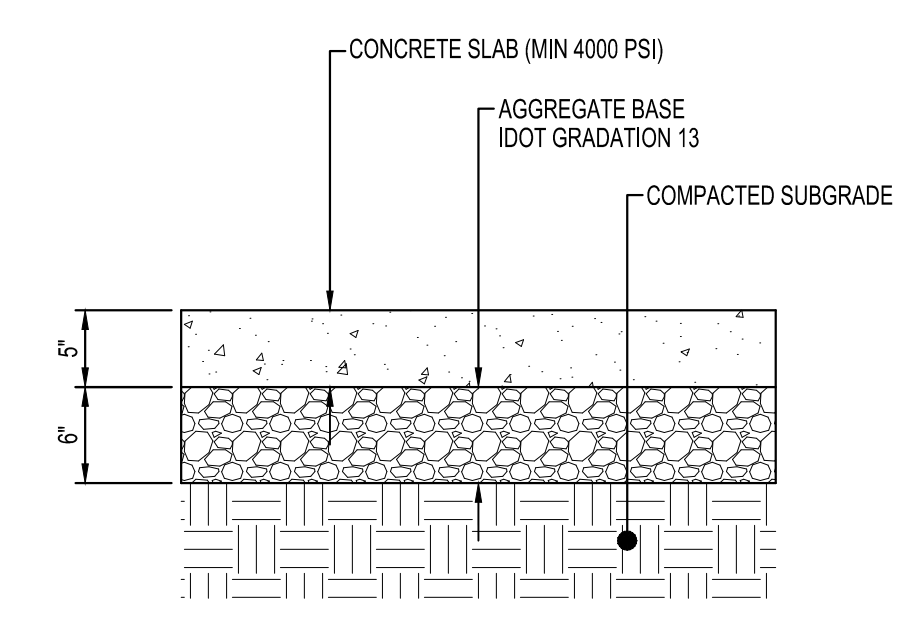
REVERSE PITCH CONCRETE CURB & GUTTER
NTS ST250



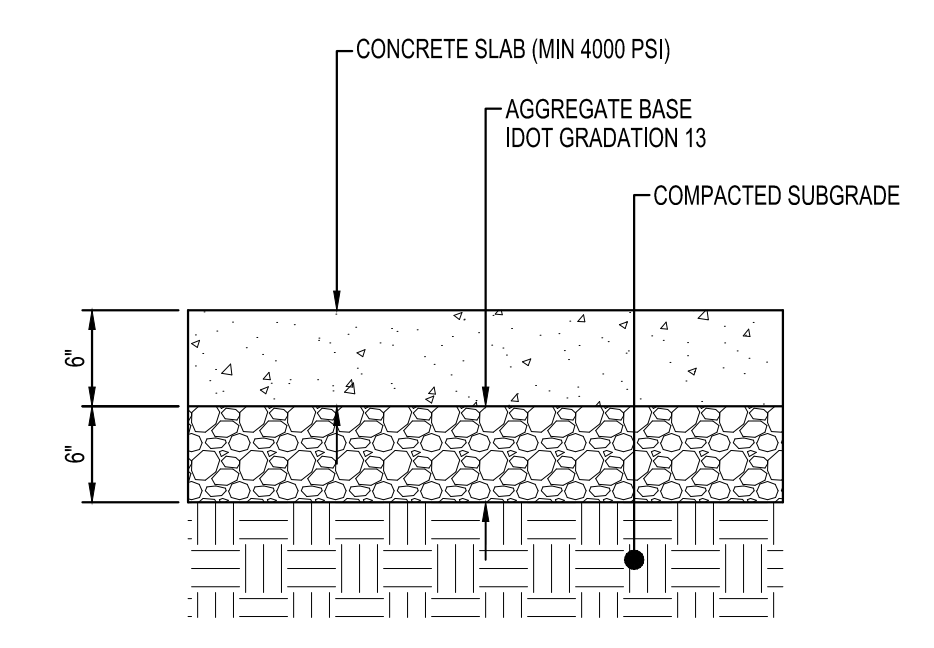
STANDARD BITUMINOUS PAVEMENT SECTION
N.T.S.



HEAVY DUTY BITUMINOUS PAVEMENT SECTION
N.T.S.



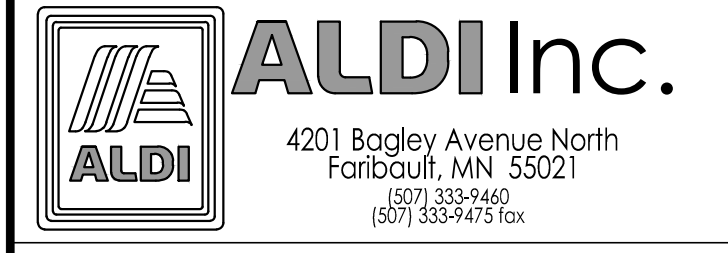
STANDARD CONCRETE PAVEMENT
NTS ST120



HEAVY DUTY CONCRETE PAVEMENT
NTS ST125

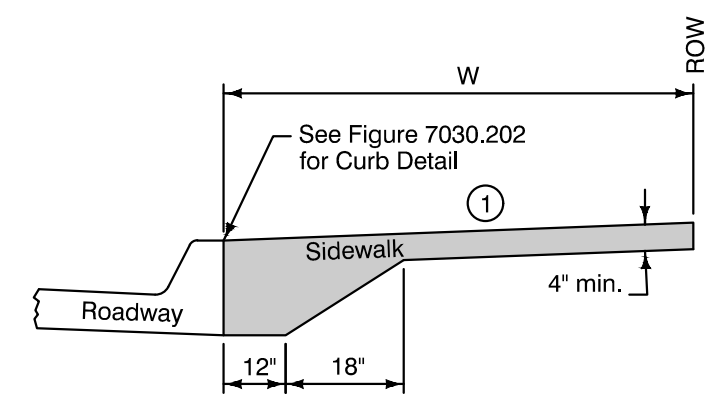


MANAGING LOCATION:
MINNEAPOLIS / ST. PAUL OFFICE
7900 INTERNATIONAL DRIVE
INTERNATIONAL PLAZA, SUITE 550
MINNEAPOLIS, MN 55425
PHONE: 952.426.0699

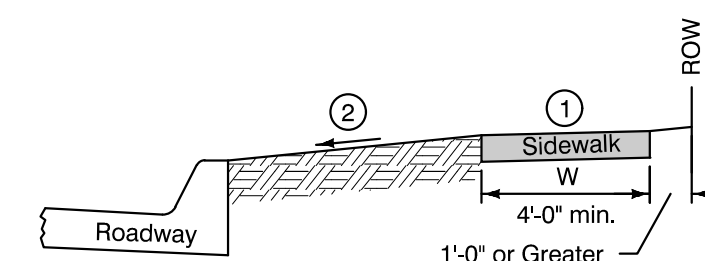


ALDI Inc. Store #: 64
CEDAR FALLS, IA
219 BRANDILYNN BLVD
CEDAR FALLS, IA 50613
BLACKHAWK COUNTY
Project Name & Location:

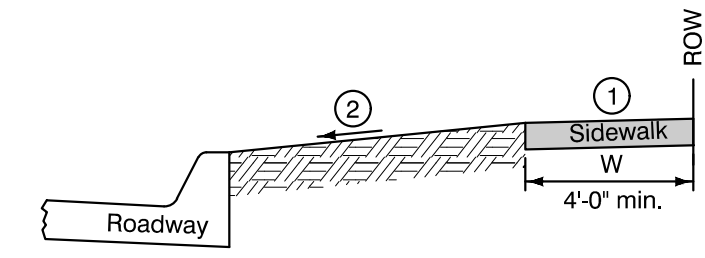
SITE DETAILS	
Drawing Name:	ISG Project No.
Type: V7.0 ER	16-19997
Drawn By: JMF	C-023
Designed By: JMF	Drawing No.
Reviewed By: RJA	



CLASS A SIDEWALK
(Sidewalk extends from back of curb to ROW)



CLASS B SIDEWALK

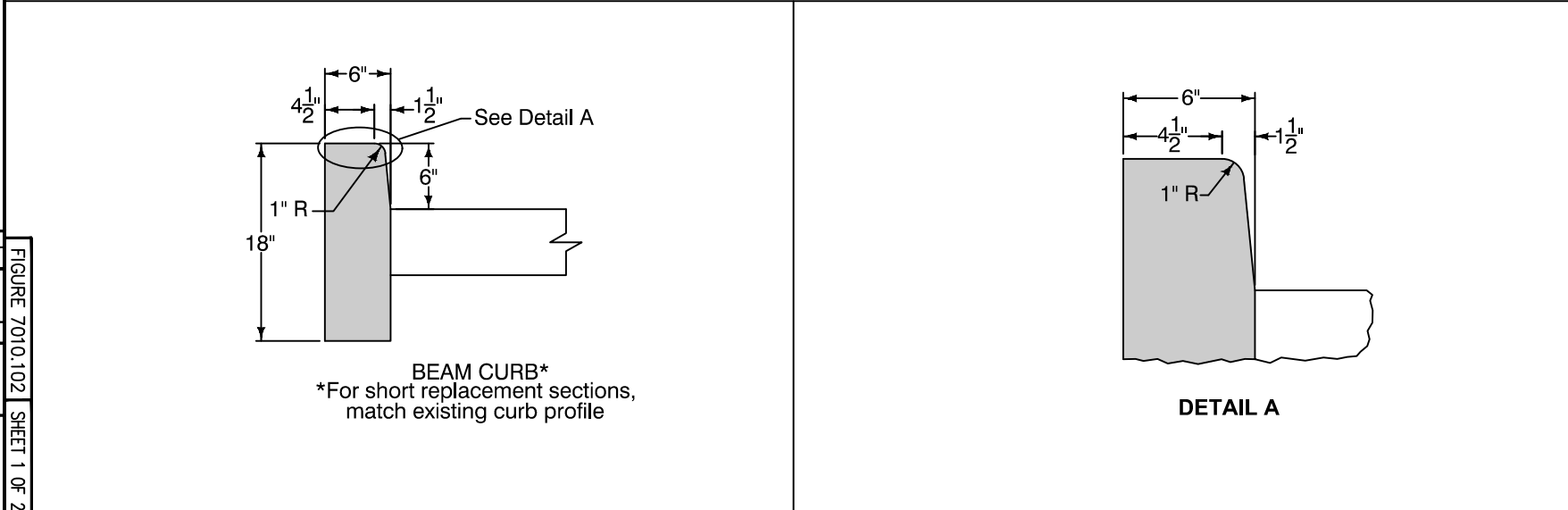
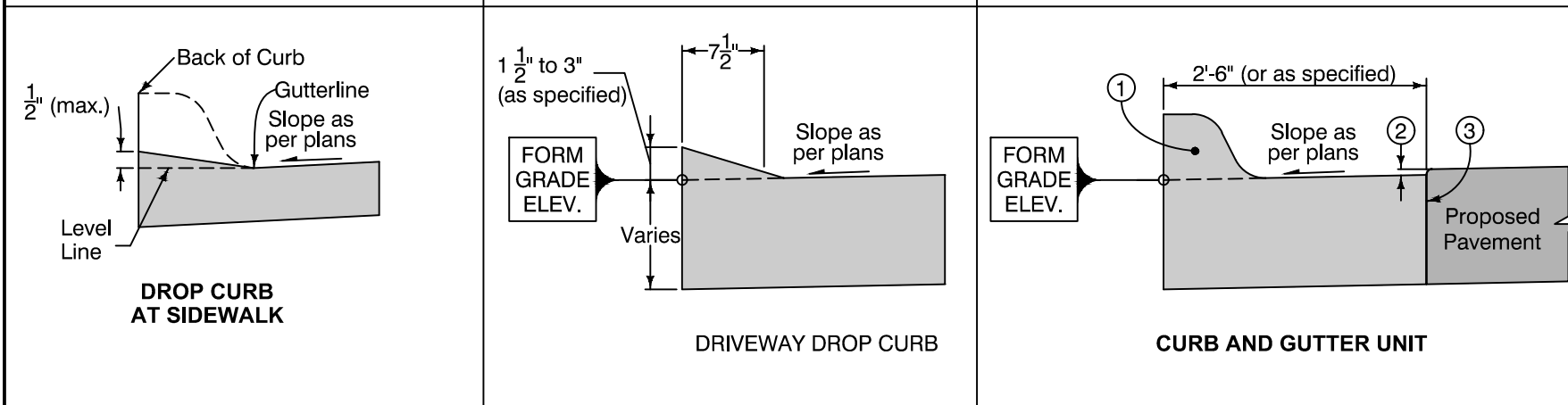
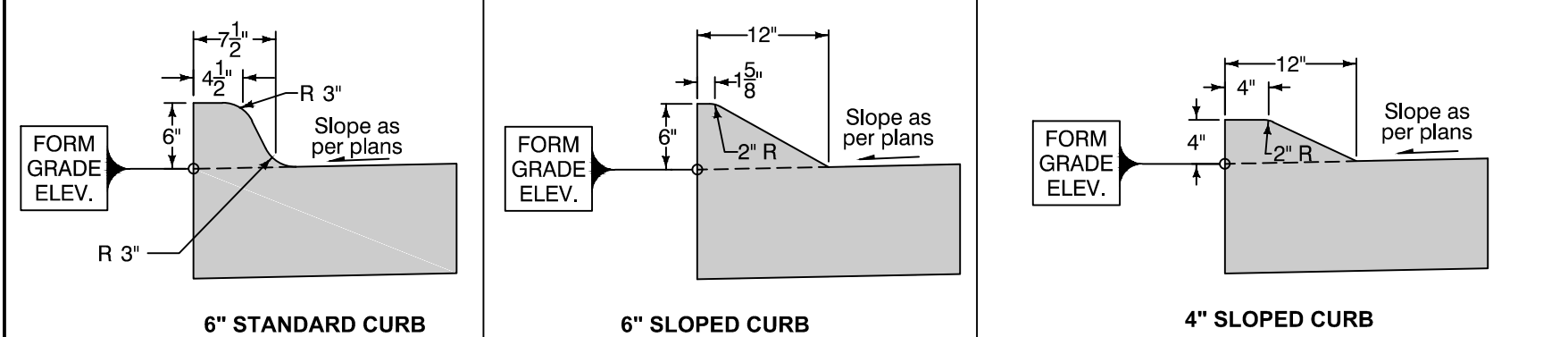


CLASS C SIDEWALK

- Target cross slope of 1.5% with a maximum cross slope of 2.0% (including sidewalk through driveway).
- Parking Slopes:
If parking width is less than 10 feet wide, slope at 1/4 inch per foot.
If parking width is 10 feet wide and greater, slope at 1/8 inch per foot.
Special grade may be specified in the contract documents.

W = Sidewalk width as specified in the contract documents.

	REVISION	NO. 1	DATE 10-20-15
	REVISION	NO. 2	DATE 10-20-15
SUDAS 7030.201			
SUDAS Standard Specifications			
CLASSES OF SIDEWALKS			

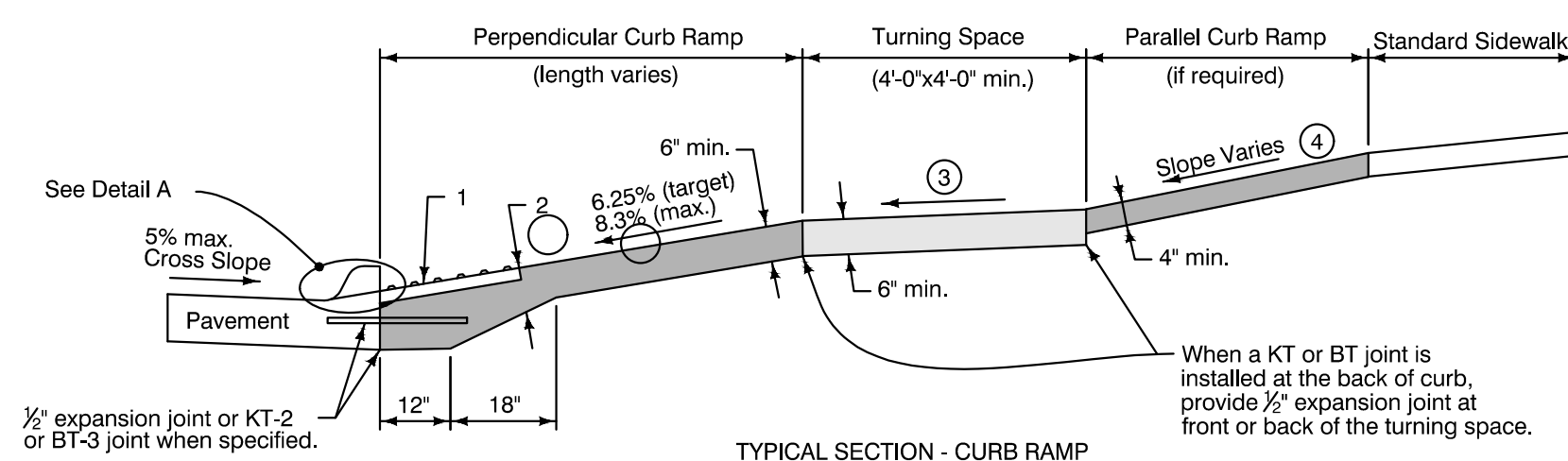


For joint details, see PV-101.

- 6" Standard Curb, 6" Sloped Curb, or 4" Sloped Curb as specified.
- 1/2" if Proposed Pavement is HMA. No elevation difference if Proposed Pavement is PCC.
- BT*, KT*, or L* joint if Proposed Pavement is PCC. BT* joint if Proposed Pavement is HMA.

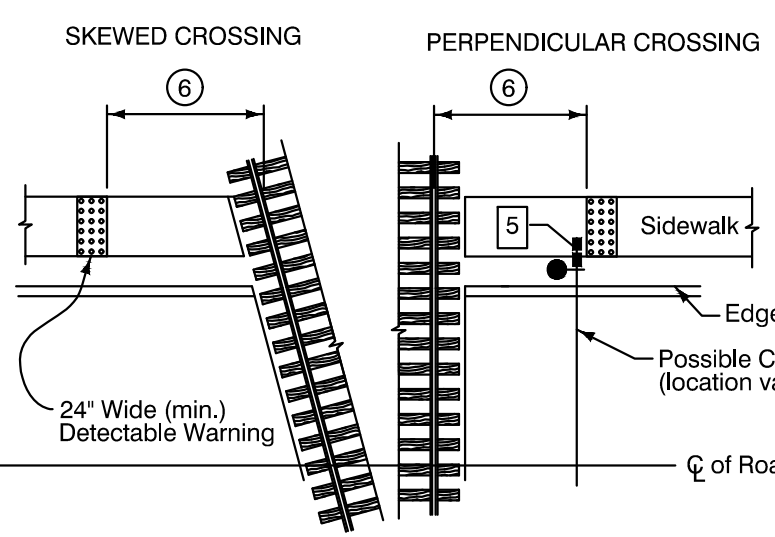
	REVISION	NO. 4	DATE 10-18-14
	REVISION	NO. 3	DATE 10-18-14
SUDAS 7030.202			
SUDAS Standard Specifications			
PCC CURB DETAILS			

FIGURE 7030.201 SHEET 1 OF 1

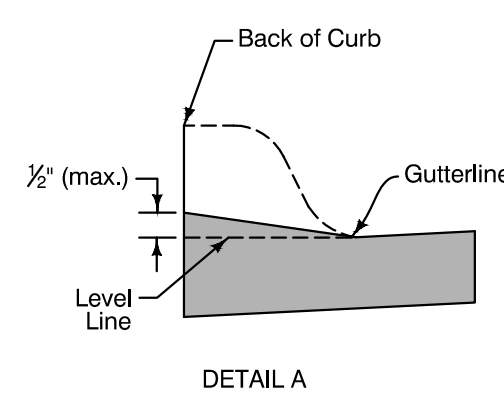


TYPICAL SECTION - CURB RAMP

- Key
- Curb Ramp
 - Turning Space
 - Detectable warning



DETECTABLE WARNING LOCATION AT RAILROAD CROSSING

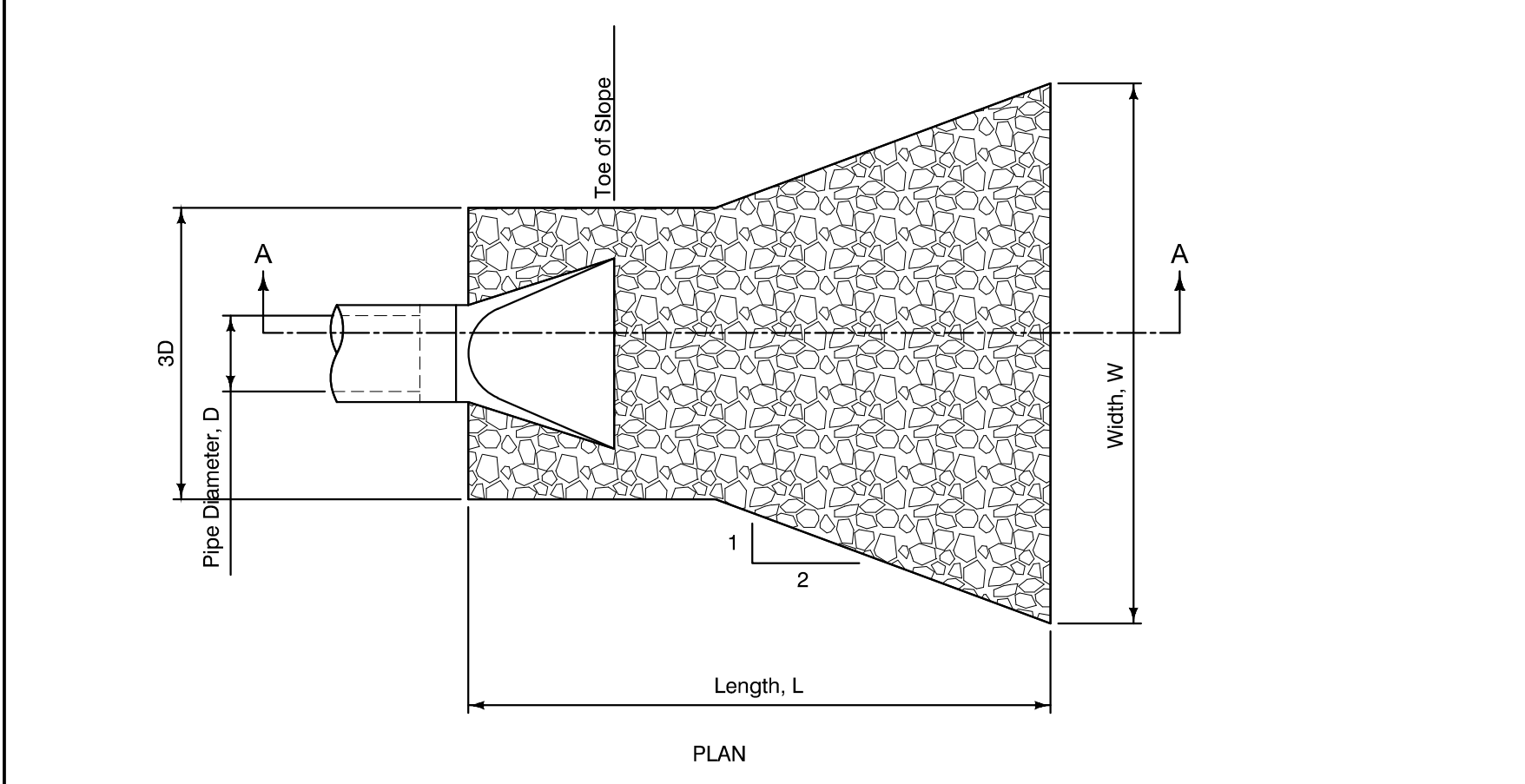


DETAIL A

- Provide a minimum 2 foot width of detectable warning surfaces in the direction of pedestrian travel across the full width of the curb ramp or turning space, exclusive of curbs or flares.
- Provide a minimum of 6 inches of concrete below the detectable warning panel.
- Minimum 4 feet by 4 feet. Target cross slope of 1.5% with a maximum cross slope of 2.0%.
- If normal sidewalk elevation cannot be achieved with the perpendicular ramp between the street and landing due to limited ramp length, provide a parallel ramp to make up the elevation difference between the landing and the standard sidewalk.

The length of the parallel ramp is not required to exceed 15 feet, regardless of the resulting slope. Do not exceed 8.3% slope for parallel ramps shorter than 15 feet.
- If crossing gate conflicts with location of detectable warning or if pedestrian crossing gate is provided, place detectable warning panel in advance of the crossing gate.
- Locate front edge of detectable warning panel 12 to 15 feet from centerline of nearest rail. Orient truncated domes parallel to the direction of pedestrian travel.

	REVISION	NO. 1	DATE 10-20-15
	REVISION	NO. 2	DATE 10-20-15
SUDAS 7030.205			
SUDAS Standard Specifications			
GENERAL SIDEWALK AND CURB RAMP DETAILS			

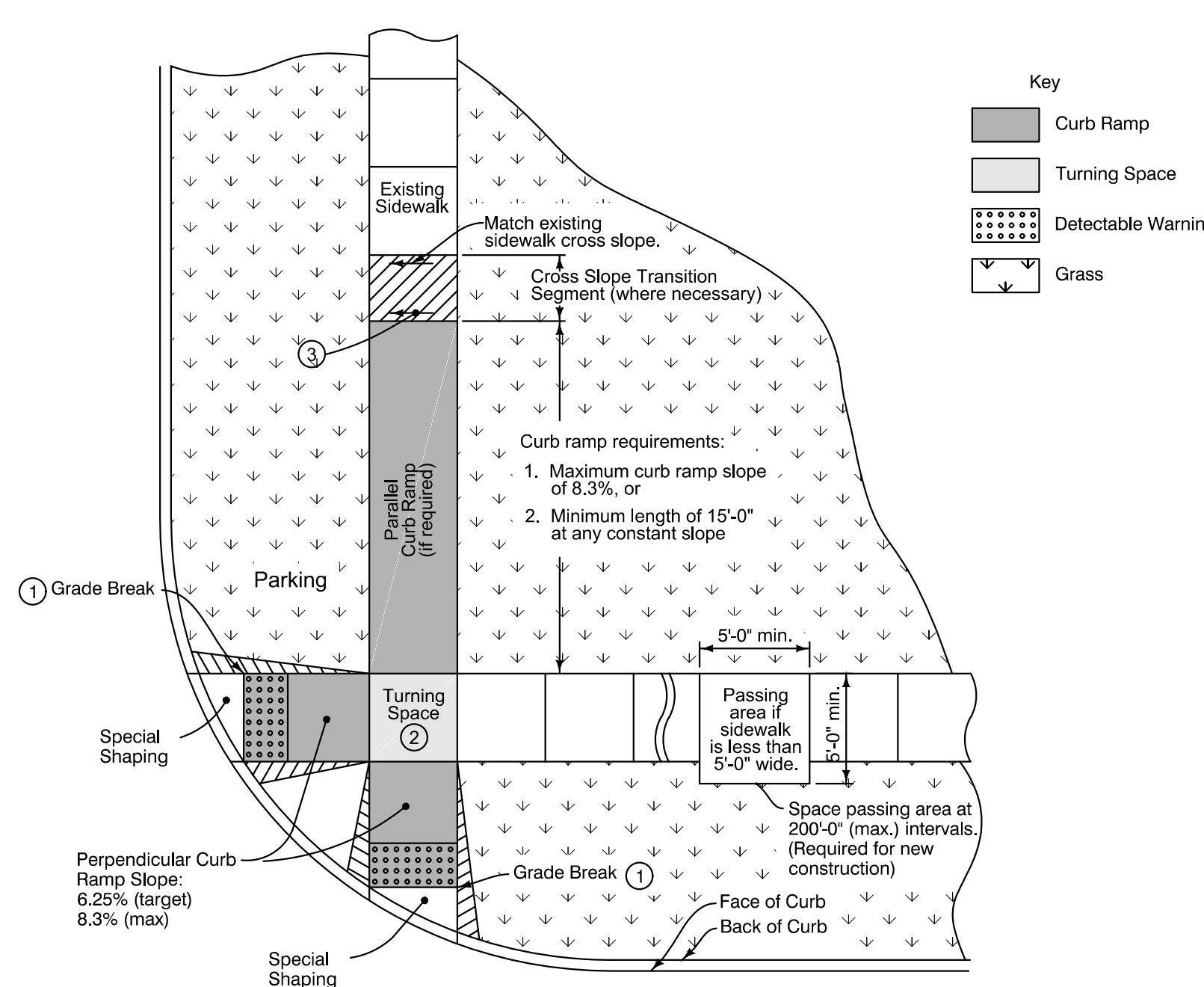


PLAN

PROFILE Section A-A

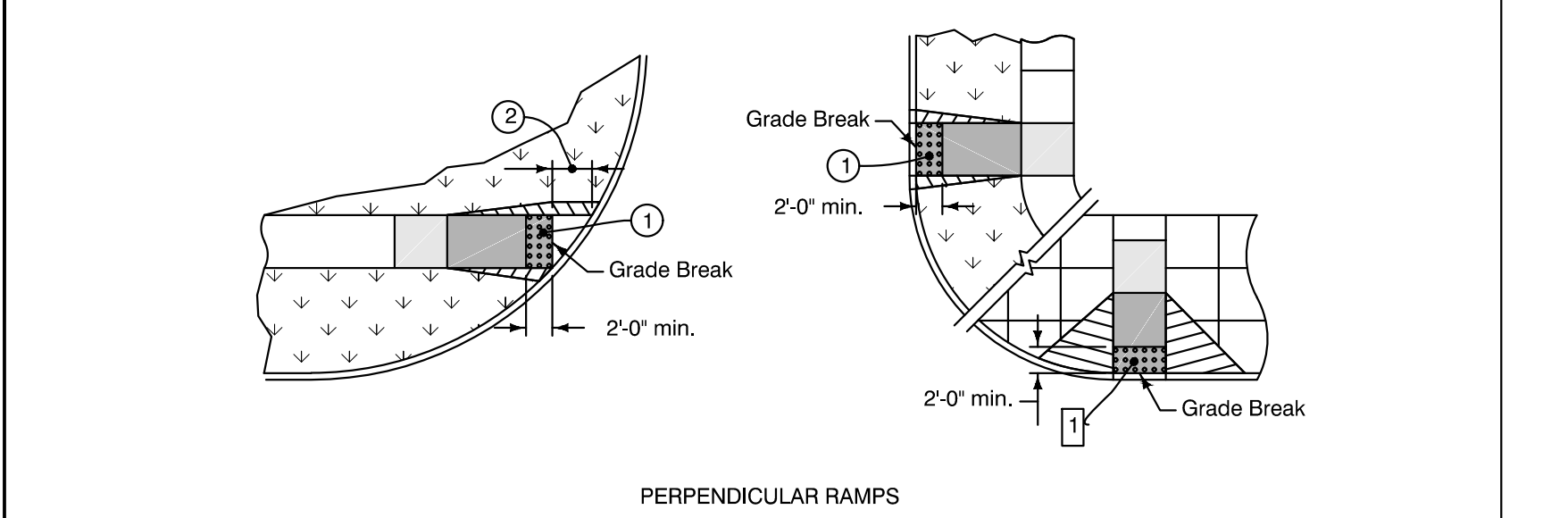
	REVISION	NO. 3	DATE 10-21-14
	REVISION	NO. 4	DATE 10-21-14
SUDAS 9040.110			
SUDAS Standard Specifications			
RIP RAP FOR PIPE OUTLET ONTO FLAT GROUND			

FIGURE 7030.204 SHEET 1 OF 1

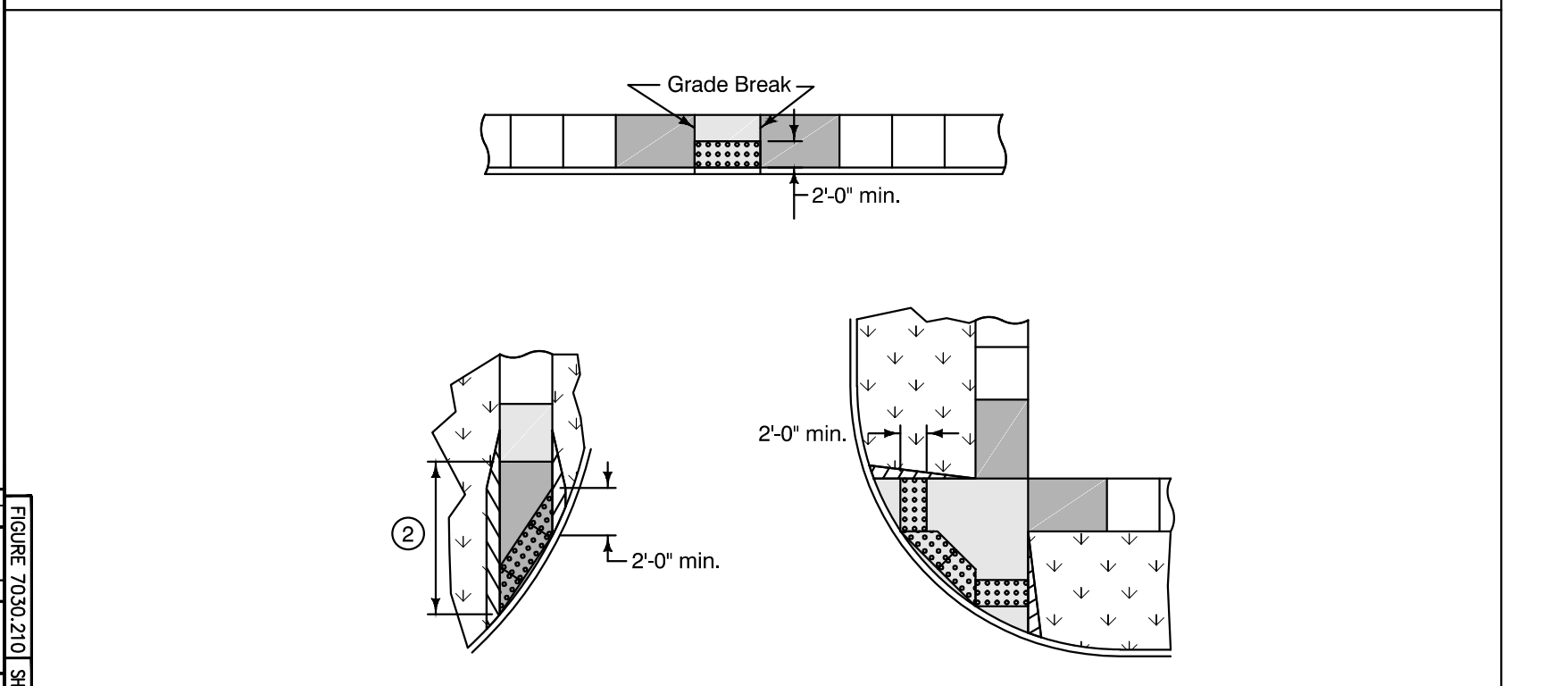


- Match pedestrian street crossing slope, or flatter.
- Minimum 4 feet by 4 feet. Target cross slope of 1.5% with a maximum cross slope of 2.0%.
- Target cross slope of 1.5% with a maximum cross slope of 2.0%.

	REVISION	NO. 3	DATE 10-20-15
	REVISION	NO. 4	DATE 10-20-15
SUDAS 7030.204			
SUDAS Standard Specifications			
GENERAL FEATURES OF AN ACCESSIBLE SIDEWALK			



PERPENDICULAR RAMPS



PARALLEL RAMPS

- Provide a minimum 2 foot width of detectable warning surfaces in the direction of pedestrian travel across the full width of the curb ramp or turning space, exclusive of curbs or flares.
- When detectable warning is located on curb ramp surface, orient domes in the direction of pedestrian travel.
 - When the distance between the grade break and the back of curb is less than 5 feet, place detectable warning surface at the bottom of the curb ramp.

Where one corner of the curb ramp is more than 5 feet from the back of curb, construct curb ramp as a parallel curb ramp. Move grade break back as required to place detectable warning on turning space at the back of curb.

- Key
- Curb Ramp
 - Turning Space
 - Detectable Warning

	REVISION	NO. 3	DATE 10-20-15
	REVISION	NO. 4	DATE 10-20-15
SUDAS 7030.210			
SUDAS Standard Specifications			
DETECTABLE WARNING PLACEMENT			

Issued:	Date:
A SITE PLAN SUBMITTAL	02/19/21
B PERMIT SET	03/19/21
C BID SET	04/05/21
D	
E	
Revisions:	Date:
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MANAGING LOCATION:
MINNEAPOLIS / ST. PAUL OFFICE
 7900 INTERNATIONAL DRIVE
 INTERNATIONAL PLAZA, SUITE 550
 MINNEAPOLIS, MN 55425
 PHONE: 952.426.0699

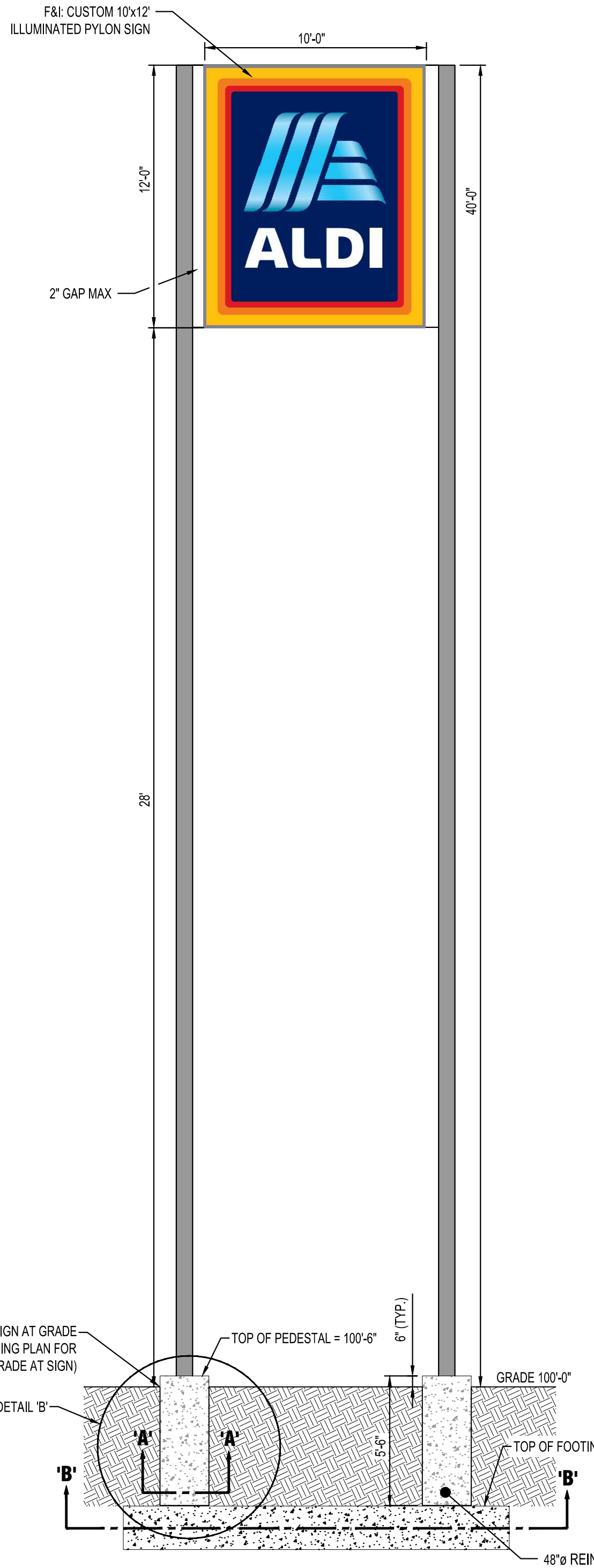


ALDI Inc. Store #: 64
CEDAR FALLS, IA
 219 BRANDILYNN BLVD
 CEDAR FALLS, IA 50613
 BLACKHAWK COUNTY
 Project Name & Location:

SITE DETAILS	
Drawing Name:	ISG Project No.
Type: V7.0 ER	16-19997
Drawn By: JMF	
Designed By: JMF	C-024
Reviewed By: RJA	Drawing No.

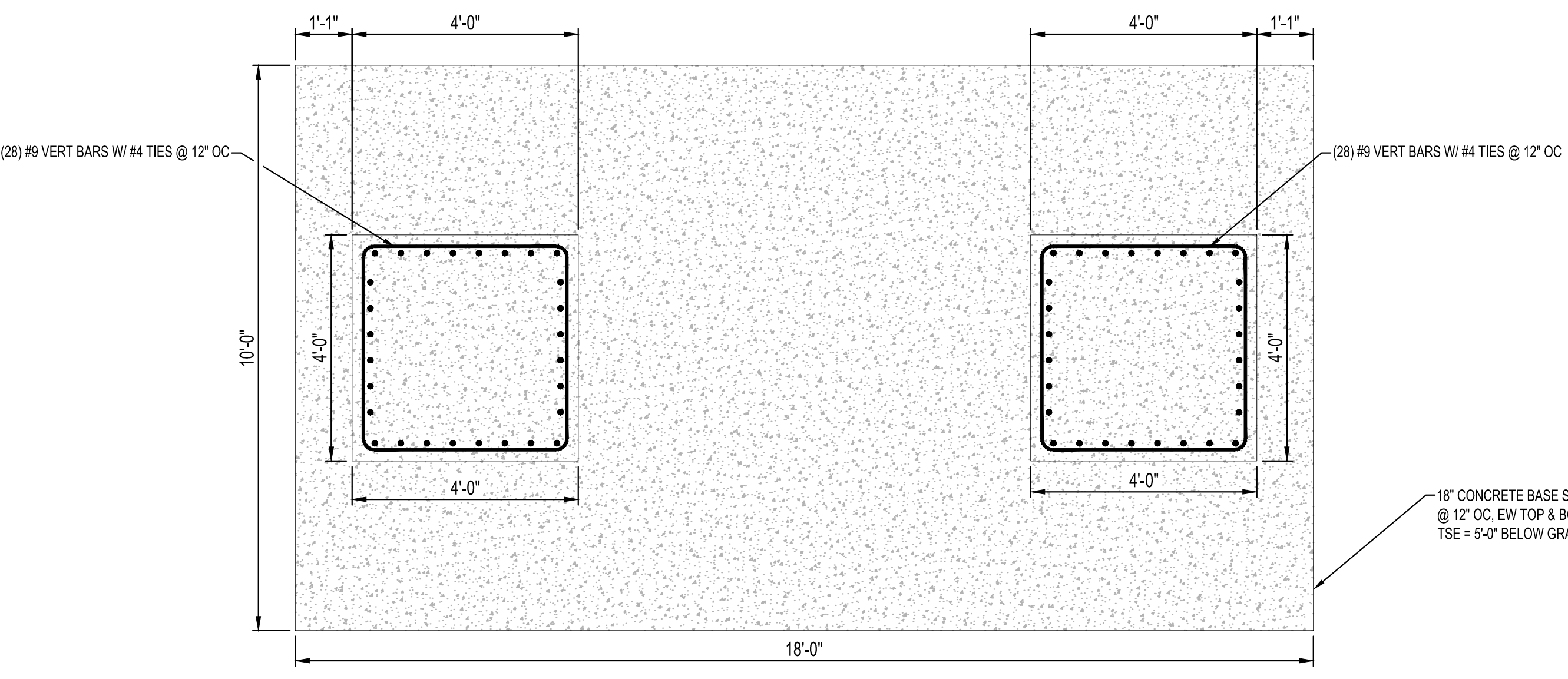
Issued:	Date:
A	SITE PLAN SUBMITTAL 02/19/21
B	PERMIT SET 03/19/21
C	BID SET 04/05/21
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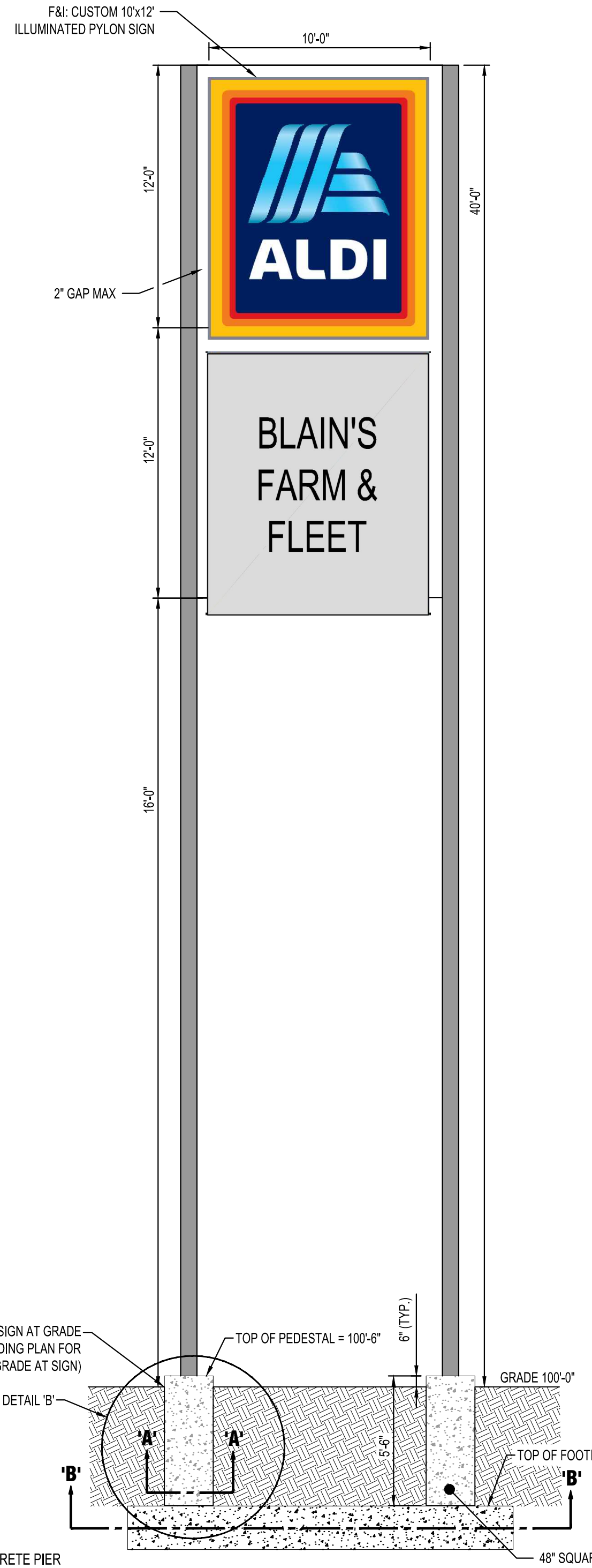


ALDI, INC. PYLON SIGN DETAIL 'A'

N.T.S.

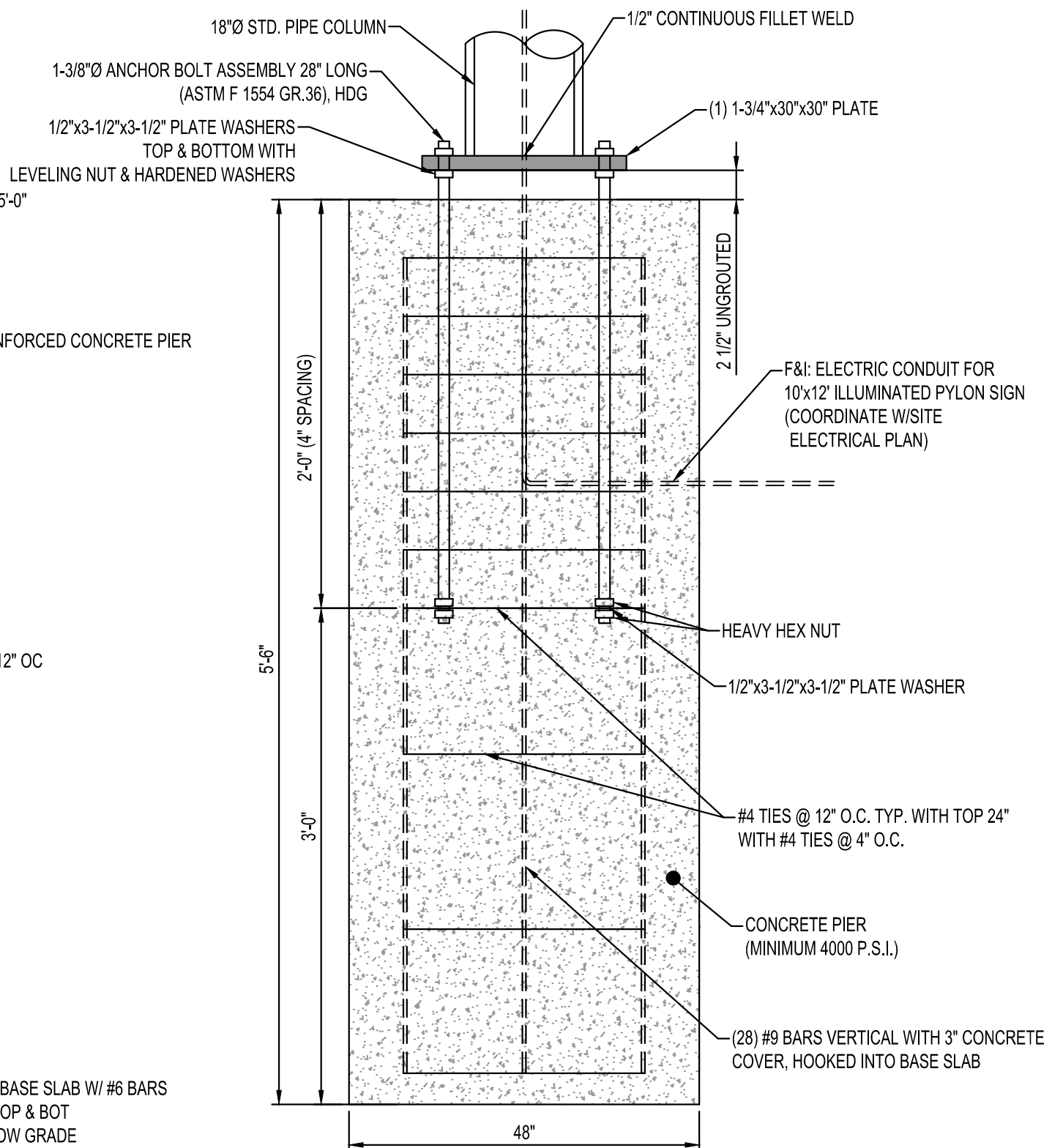


'B'-'B'



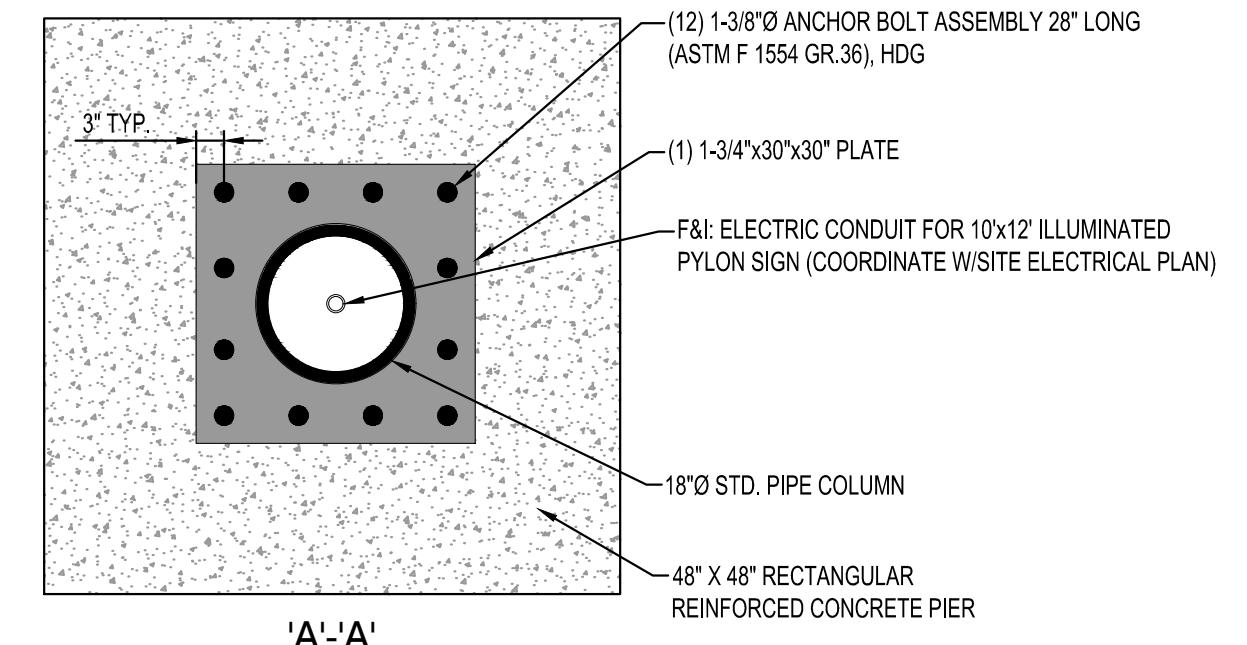
ALDI, INC. PYLON SIGN DETAIL 'B'

N.T.S.



DETAIL 'B'

N.T.S.



'A'-'A'

CONSTRUCTION NOTES:

A. SPECIFICATIONS

- DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE "STEEL CONSTRUCTION MANUAL", 14TH EDITION, BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, UNO.
- STEEL MATERIALS SHALL MEET THE REQUIREMENTS OF THE FOLLOWING SPECIFICATIONS, UNO.
 - HSS RECTANGULAR, ASTM A500 GRADE B, Fy = 46 ksi
 - HSS ROUND, ASTM A500 GRADE B, Fy = 42 ksi
 - PIPE, ASTM A53 GRADE B, Fy = 35 ksi
 - PLATES AND BARS, ASTM A36, Fy = 36 ksi
- ALL WELDING SHALL CONFORM TO THE REQUIREMENTS OF AWS D1.1 (LATEST EDITION) "STRUCTURAL WELDING CODE".
- CONCRETE SHALL BE NORMAL WEIGHT, UNO, AND MEET THE FOLLOWING CRITERIA.
 - f_c = 4,000 psi
 - 6% +/- 1.5% AIR ENTRAINMENT
 - 0.55 MAXIMUM WATER-TO-CEMENT RATIO
 - CEMENT SHALL CONFORM TO ASTM C150, TYPE III
 - READY-MIX CONCRETE SHALL BE MIXED AND DELIVERED ACCORDANCE WITH ASTM C94.
 - CONCRETE SHALL BE CAST IN PLACE AGAINST UNDISTURBED SOIL. A SONO-TUBE FORM SHOULD ONLY BE USED FOR THE TOP 12" OF THE FOOTING. CONCRETE FORM-WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACE 301 (LATEST EDITION) "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", EXCEPT AS MODIFIED BY THESE DRAWINGS.
- ALL ANCHOR RODS SHALL BE SUPPLIED AND INSTALLED BY THE CONCRETE CONTRACTOR, UNO, AND MEET THE FOLLOWING SPECIFICATIONS.
 - ALL ANCHOR RODS SHALL BE ASTM F1554, GRADE 36, HEX-HEAD, NUTS SHALL BE ASTM A563, GRADE A, HEAVY-HEX, HARDENED WASHERS SHALL BE ASTM 436, OVER-SIZED PLATE WASHERS SHALL BE ASTM A36, AND ALL HOT-DIPPED GALVANIZED.
 - ALL ANCHOR RODS SHALL BE SET WITH TEMPLATES.
- DEFORMED BAR REINFORCEMENT SHALL BE ASTM A615, GRADE 60, UNO, AND MEET THE FOLLOWING CRITERIA.
 - DEVELOPMENT LENGTH OF STRAIGHT BARS SHALL BE 48 TIMES THE DIAMETER OF THE BAR.
 - MINIMUM CLEAR CONCRETE COVER SHALL BE 3 INCHES.
 - ALL REINFORCING STEEL, ANCHOR RODS, DOWELS, AND INSERTS SHALL BE SECURED IN POSITION WITH WIRE POSITIONERS, OR EQUIVALENT, BEFORE PLACING CONCRETE.
- PYLON POLES ARE TO BE PAINTED "SHERWIN WILLIAMS SW-7019 GAUNTLET GRAY". FOLLOW MANUFACTURER'S SPEC FOR PAINTING.

B. SUBMITTALS:

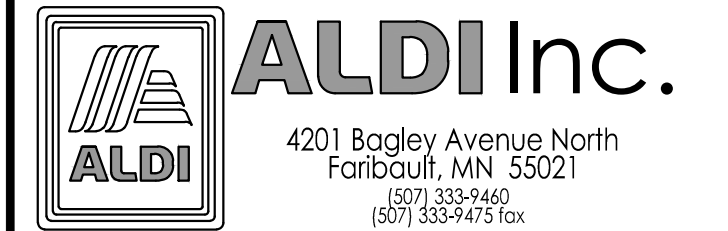
- PRIOR TO SUBMITTAL, THE CONTRACTOR SHALL REVIEW THE SHOP DRAWINGS AND MAKE ANY CORRECTIONS REQUIRED. THE CONTRACTOR SHALL STAMP AND SIGN THE SHOP DRAWINGS PRIOR TO SUBMITTAL TO THE ENGINEER.
- THE CONTRACTOR SHALL SUBMIT PRODUCT DATA FOR PROPRIETARY MATERIAL AND ITEMS, INCLUDING FORMING ACCESSORIES, ADMIXTURES, PATCHING COMPOUNDS, SEALANTS, WATERSTOPS, JOINT SYSTEMS, CURING COMPOUNDS, AND OTHERS IN AND FOR CONSTRUCTION.
- THE FABRICATOR SHALL CLEARLY HIGHLIGHT/CLOUD ANY CHANGES MADE IN THE SHOP DRAWINGS WHICH DO NOT COMPLY WITH DESIGN DRAWINGS, ANY CHANGES MUST BE APPROVED BY THE ENGINEER PRIOR TO FABRICATION.
- CONTRACTOR TO SUBMIT THE FOLLOWING DRAWINGS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OF SIGN.
 - CONCRETE REINFORCING STEEL
 - ANCHOR RODS
 - CONCRETE MIX DESIGNS
 - STRUCTURAL STEEL
 - ADDITIONAL SHOP DRAWINGS REQUESTED IN THE SPECIFICATIONS.
- A COPY OF ALL SHOP DRAWINGS SHALL BE MAINTAINED ON SITE AT ALL TIMES.

C. QUALITY CONTROL AND QUALITY ASSURANCE:

- COORDINATE FOR ENGINEER OR OWNER'S INDEPENDENT TESTING AGENCY TO INSPECT AND APPROVE REINFORCING STEEL AND EMBEDS PRIOR TO ORDERING CONCRETE.
- COORDINATE FOR OWNER'S INDEPENDENT TESTING AGENCY TO BE ON SITE AND PERFORM CONTINUOUS INSPECTION WHILE CONCRETE PLACEMENT IS OCCURRING. PROVIDE NOTICE NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE PLACEMENT.
- COORDINATE WITH OWNER'S INDEPENDENT TESTING AGENCY TO SAMPLE CONCRETE AT TIME OF PLACEMENT IN ORDER TO PERFORM SLUMP, AIR, TEMPERATURE AND CASTING OF CYLINDERS.
- ANY AND ALL WORK PERFORMED WITHOUT PROPER INSPECTION AND TESTING AS OUTLINED IN THIS SPECIFICATION WILL BE CONSIDERED UNAUTHORIZED WORK. ANY CORRECTIVE MEASURES REQUIRED OF THE UNAUTHORIZED WORK WILL BE AT CONTRACTORS OWN EXPENSE.



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 INTERNATIONAL PLAZA, SUITE 550
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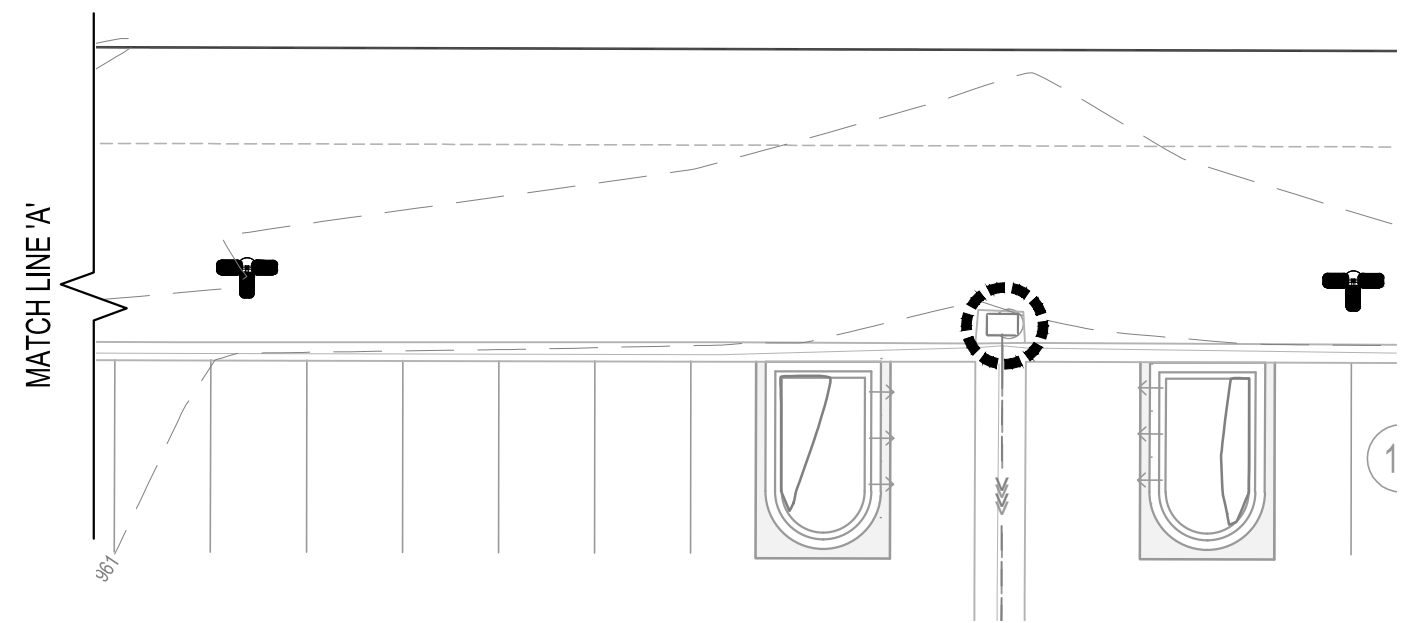
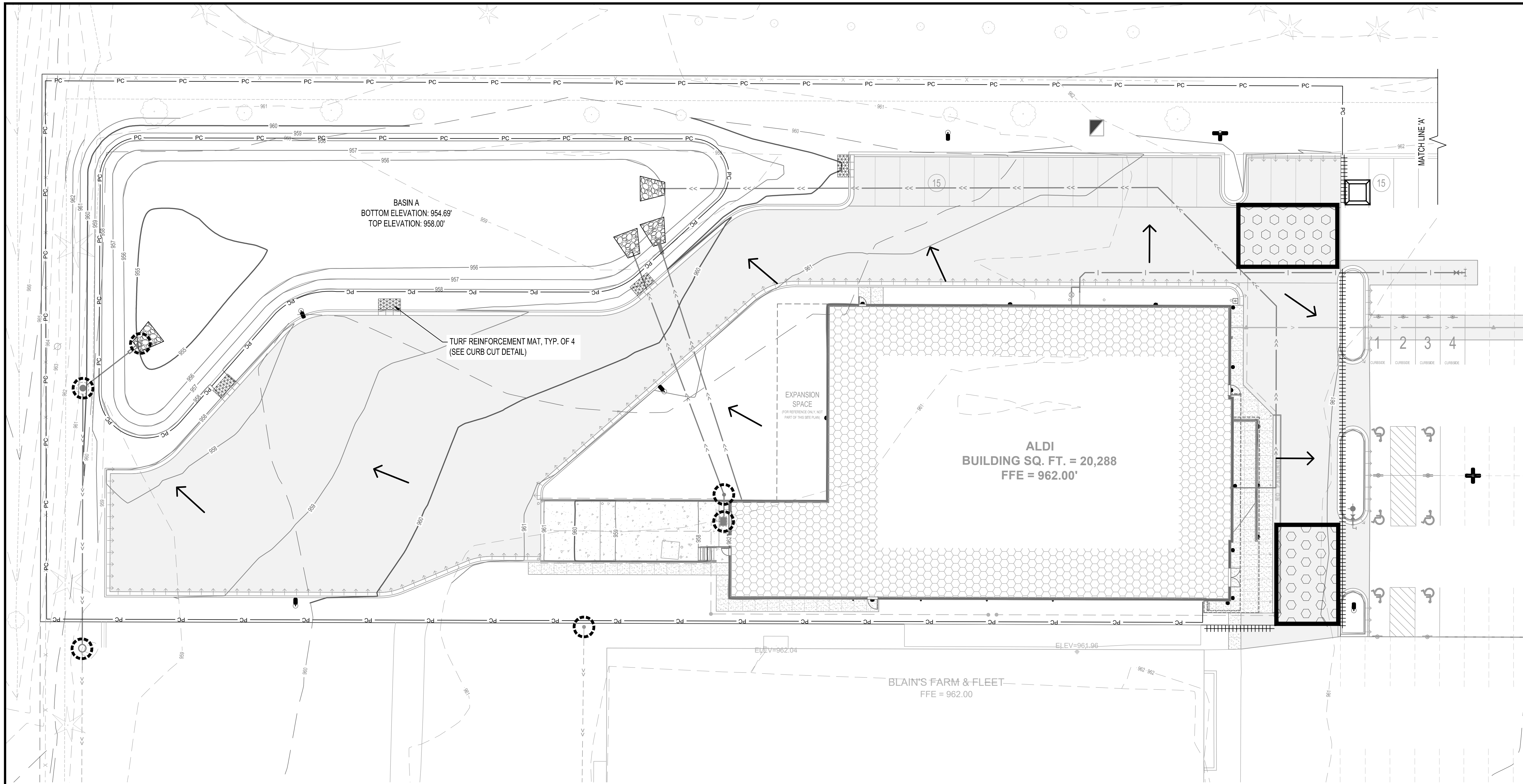
ALDI Inc. Store #: 64
 CEDAR FALLS, IA
 219 BRANDILYNN BLVD
 CEDAR FALLS, IA 50613
 BLACKHAWK COUNTY
 Project Name & Location:

PYLON SIGN DETAILS

Drawing Name:	ISG Project No.
Type: V7.0 ER	16-19997
Drawn By: JMF	
Designed By: JMF	C-025
Reviewed By: RJA	Drawing No.

Issued:	Date:
A SITE PLAN SUBMITTAL	02/19/21
B PERMIT SET	03/19/21
C BID SET	04/05/21
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Revisions:	Date:
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EROSION CONTROL LEGEND	
SYMBOL	DESCRIPTION
	RANDOM RIPRAP, CLASS 3
	PERIMETER CONTROL
	STORM DRAIN INLET PROTECTION
	ROCK CONSTRUCTION EXIT
	TURF REINFORCEMENT MAT, CATEGORY 3
	CONCRETE WASHOUT AREA
	EXISTING DRAINAGE ARROW

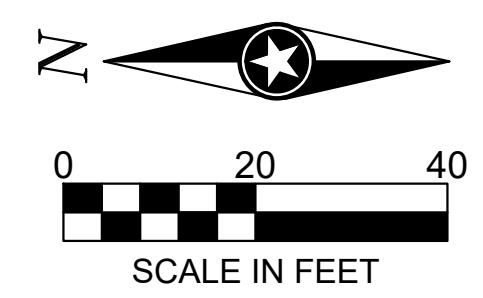
SYMBOL	DESCRIPTION
	PROPOSED DRAINAGE ARROW
	EXISTING CONTOUR (MINOR INTERVAL)
	EXISTING CONTOUR (MAJOR INTERVAL)
	PROPOSED CONTOUR (MINOR INTERVAL)
	PROPOSED CONTOUR (MAJOR INTERVAL)

PERIMETER CONTROL CAN BE SILT FENCE OR SEDIMENT CONTROL LOG.
SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT.

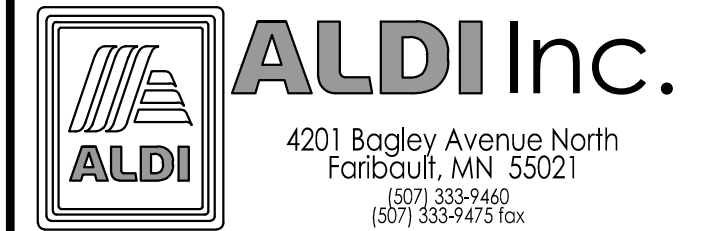
NOTE: EROSION CONTROL PLAN COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE REQUIREMENTS OF THIS PLAN, INCLUDING PROVIDING THEIR OWN RESTORATION IF INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.

EROSION CONTROL QUANTITIES		
DESCRIPTION	UNITS	QUANTITY
RANDOM RIPRAP, CLASS 3	CY	16
STORM DRAIN INLET PROTECTION	EACH	7
PERIMETER CONTROL	LF	2,010
STABILIZED CONSTRUCTION EXIT	EACH	2
SEDIMENT CONTROL LOG	LF	195
CONCRETE WASHOUT AREA	EA	1

QUANTITIES ARE FOR INFORMATIONAL PURPOSES TO MEET THE REQUIREMENTS OF THE CONSTRUCTION STORMWATER PERMIT. NO GUARANTEE IS MADE TO THE ACTUAL QUANTITIES REQUIRED.



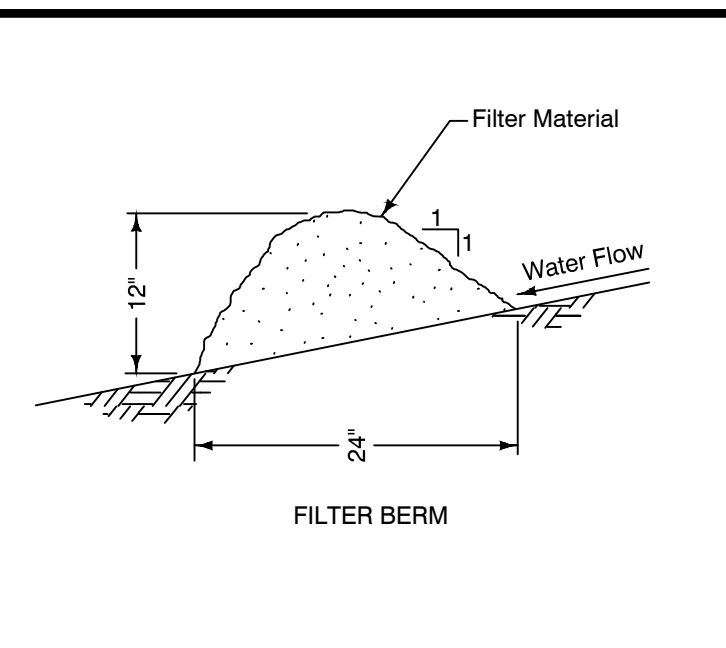
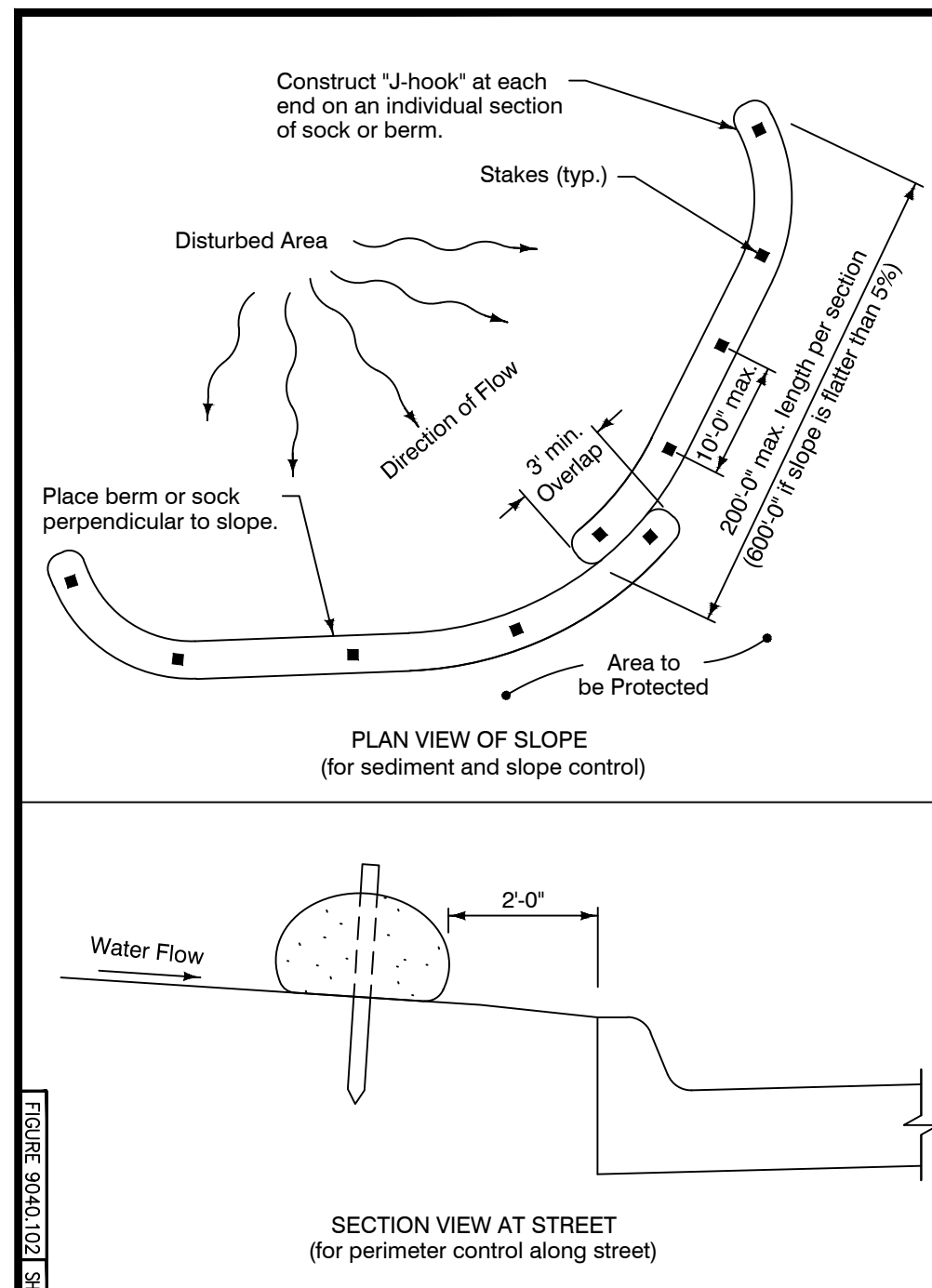
MANAGING LOCATION:
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 INTERNATIONAL PLAZA, SUITE 550
 MINNEAPOLIS, MN 55425
 PHONE: 952.426.0699



ALDI Inc. Store #: 64
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 CEDAR FALLS, IA 50613
 BLACKHAWK COUNTY

Project Name & Location:
SITE EROSION CONTROL PLAN

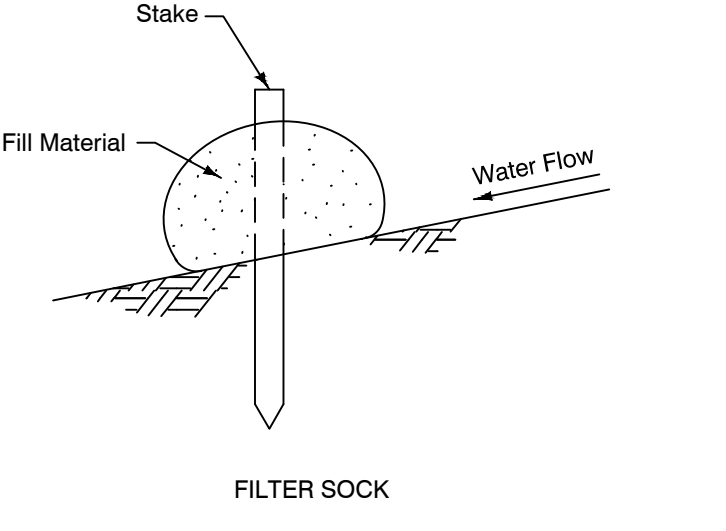
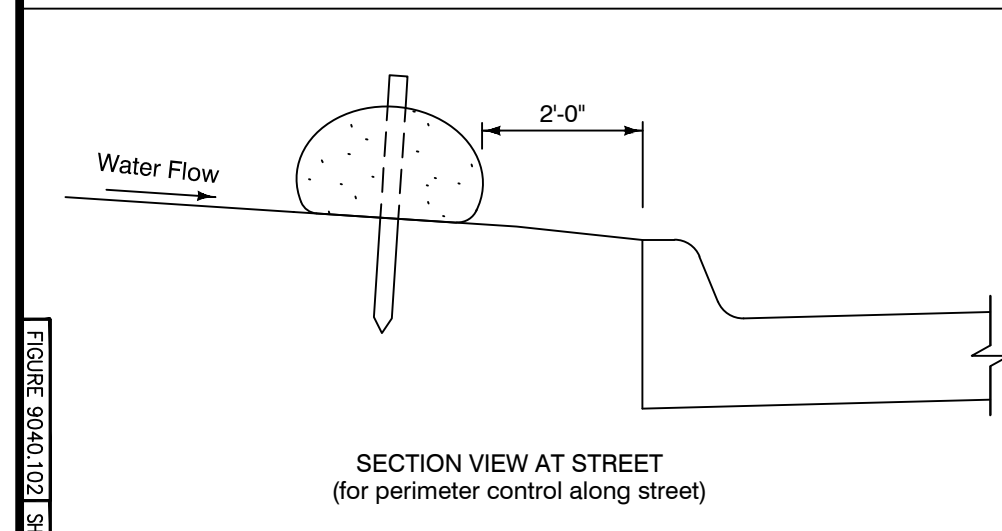
Drawing Name:	ISG Project No.
Type: V7.0 ER	16-19997
Drawn By: JMF	
Designed By: JMF	C-110
Reviewed By: RJA	Drawing No.



Berm shown is typical for slopes flatter than 3:1. For steeper slopes, increase berm size as directed by the Engineer.

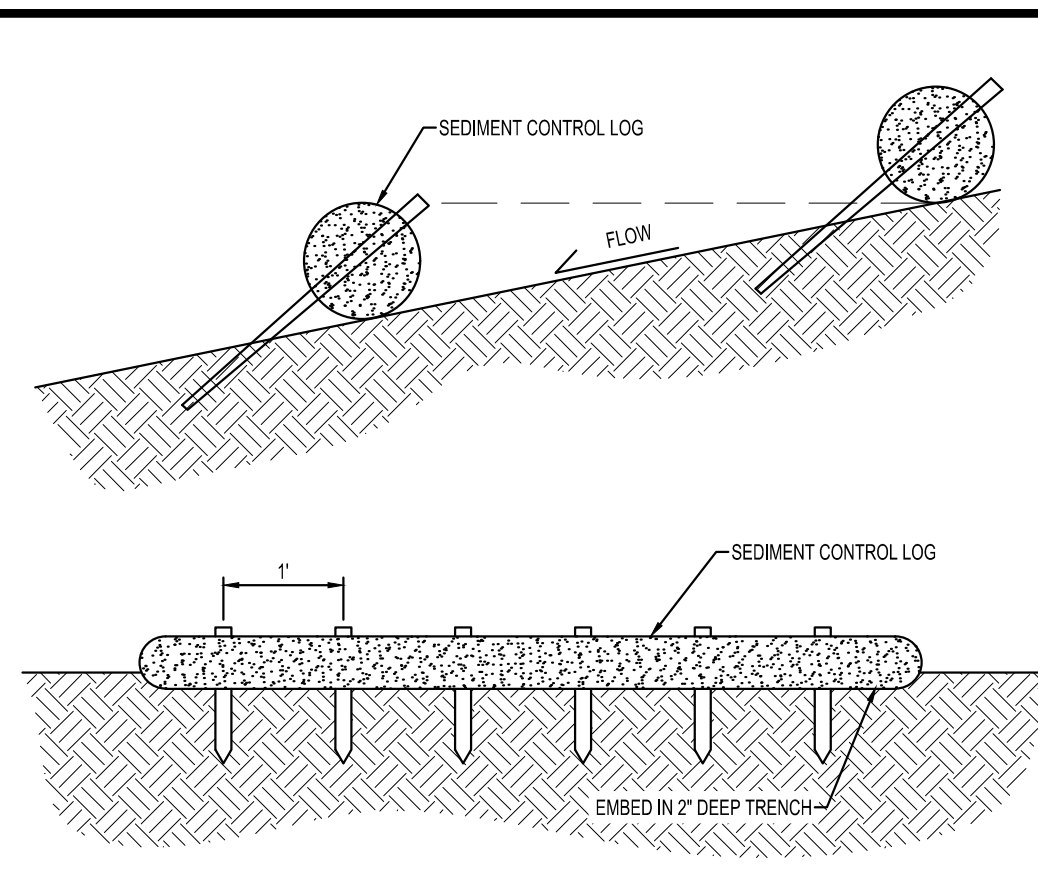
Place berm in uncompacted windrow perpendicular to the slope at locations specified in the contract documents.

Filter sock diameter as specified in the contract documents.



TYPICAL PLACEMENT OF BERM OR SOCK

	NUMBER 4 10-17-17
	SUDAS Standard Specifications 9040.102
	SHEET 1 OF 1



NOTES:

SEDIMENT CONTROL LOGS TO BE 6" DIAMETER UNLESS OTHERWISE NOTED.

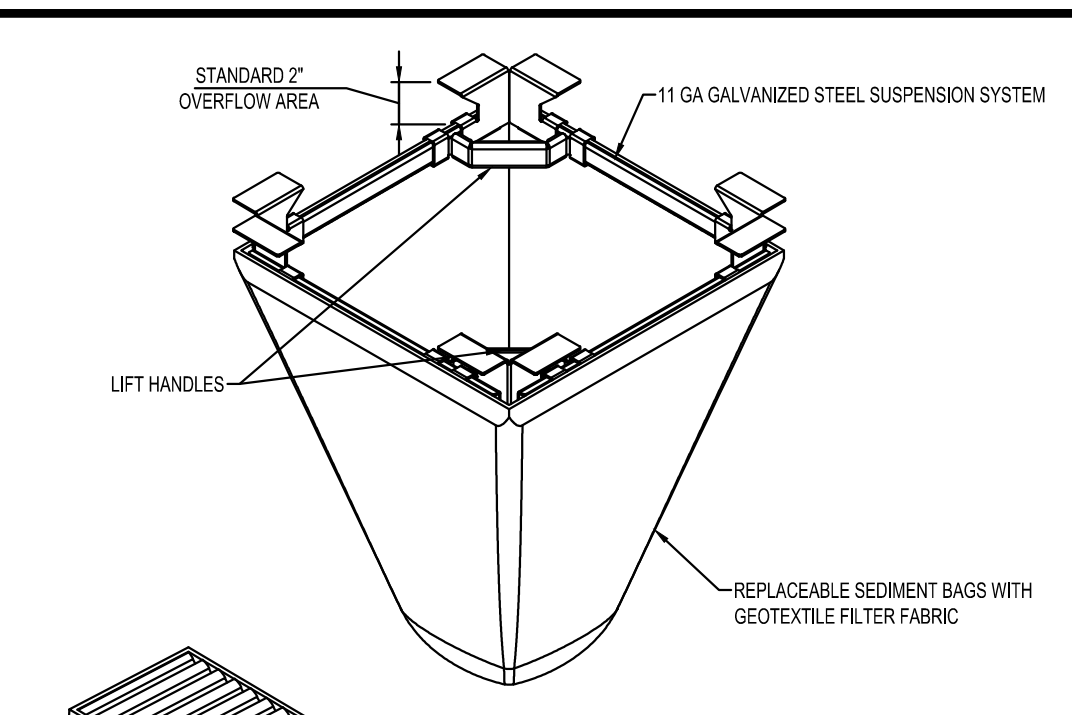
STAKED INTO THE GROUND WITH WOOD STAKES.

WOOD STAKES ARE A MINIMUM OF 2"x16"x2" UNLESS PRECLUDED BY PAVED SURFACE OR ROCK.

WOOD STAKES DRIVEN THROUGH BACK HALF OF SEDIMENT CONTROL LOG AT AN APPROXIMATE ANGLE OF 45° WITH THE TOP OF STAKE POINTING UP STREAM.

WHEN MORE THAN ONE SEDIMENT CONTROL LOG IS NEEDED, OVERLAP ENDS A MINIMUM OF 6" AND STAKE

SEDIMENT CONTROL LOG STAKING
NTS EC300



NOTES:

FOR SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

INSTALLATION:

REMOVE GRATE

DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE

REPLACE GRATE

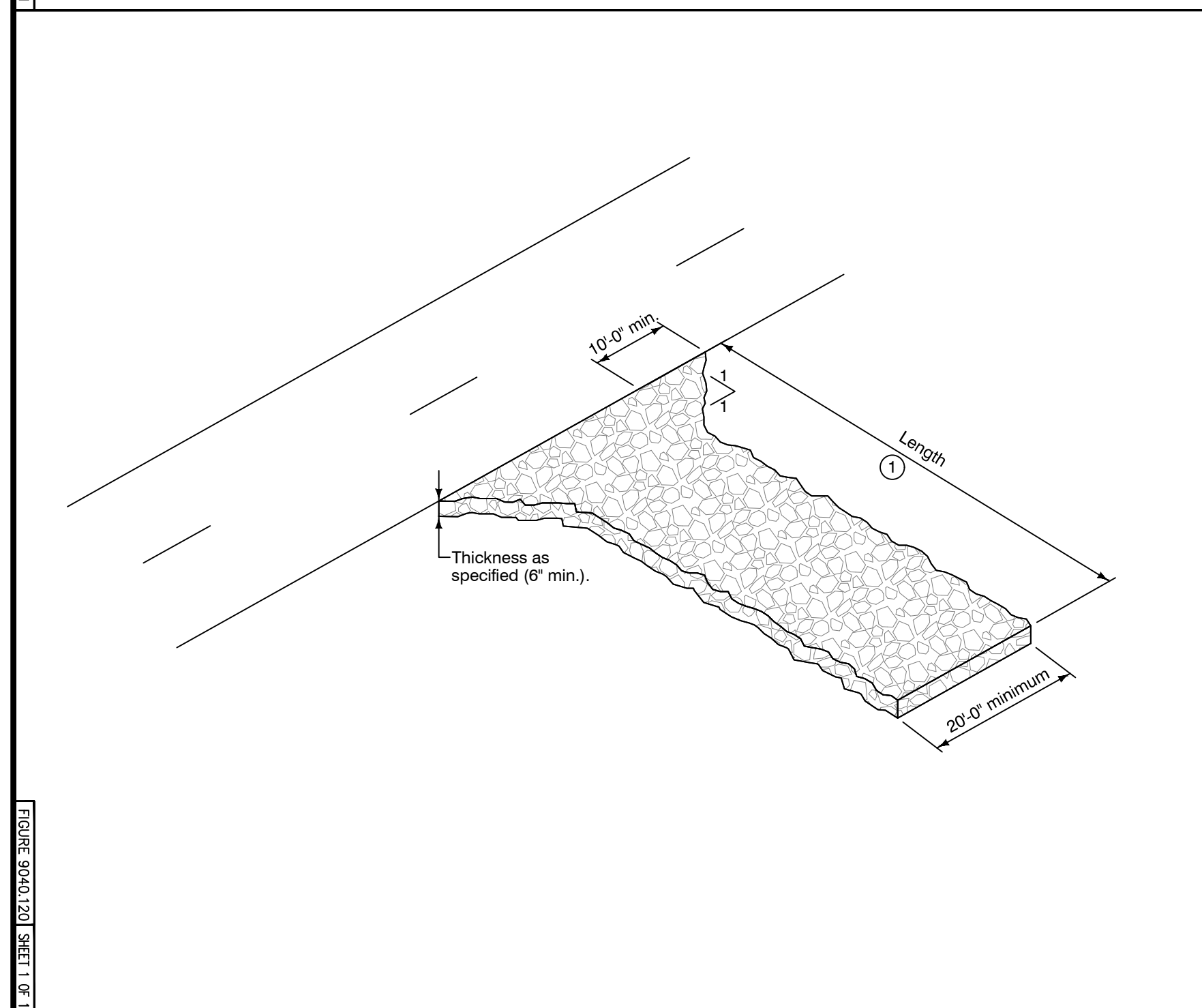
MATERIALS:

FRAMING - 11 GAUGE STEEL, CORROSION RESISTANT

SEDIMENT BAG - WOVEN GEOTEXTILE FABRIC, 2 CUBIC FOOT TYP VOLUME

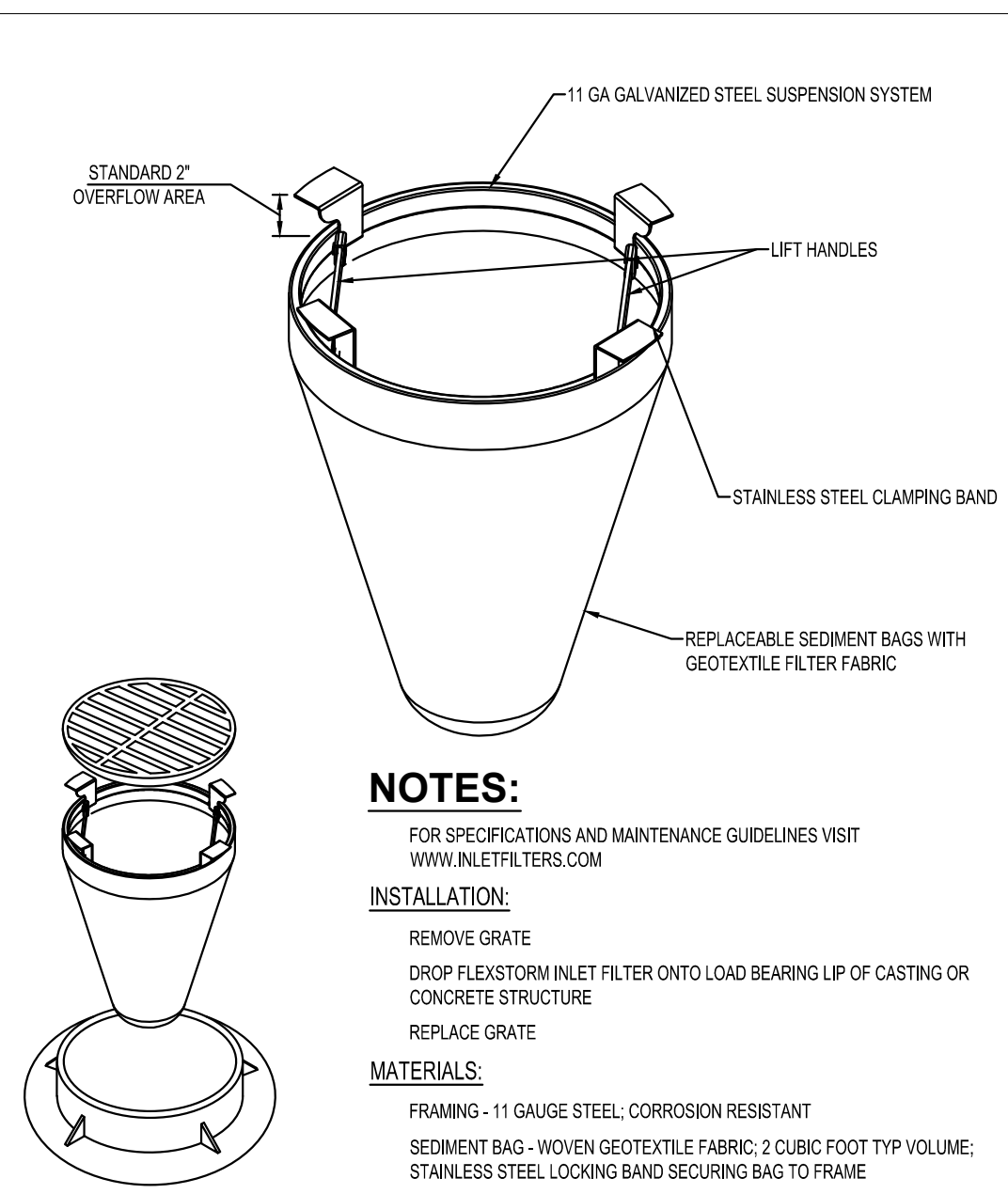
STAINLESS STEEL LOCKING BAND SECURING BAG TO FRAME

RECTANGULAR FILTER INLET PROTECTION
NTS EC211



1 Entrance length: 50 foot minimum (30 foot for single family residential), or as specified in the contract documents. Length of entrance may be increased if sediment track-out occurs.

	NUMBER 2 10-21-14
	SUDAS Standard Specifications 9040.120
	SHEET 1 OF 1



NOTES:

FOR SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

INSTALLATION:

REMOVE GRATE

DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE

REPLACE GRATE

MATERIALS:

FRAMING - 11 GAUGE STEEL, CORROSION RESISTANT

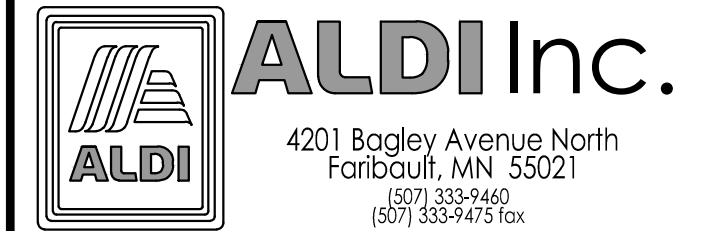
SEDIMENT BAG - WOVEN GEOTEXTILE FABRIC, 2 CUBIC FOOT TYP VOLUME

STAINLESS STEEL LOCKING BAND SECURING BAG TO FRAME

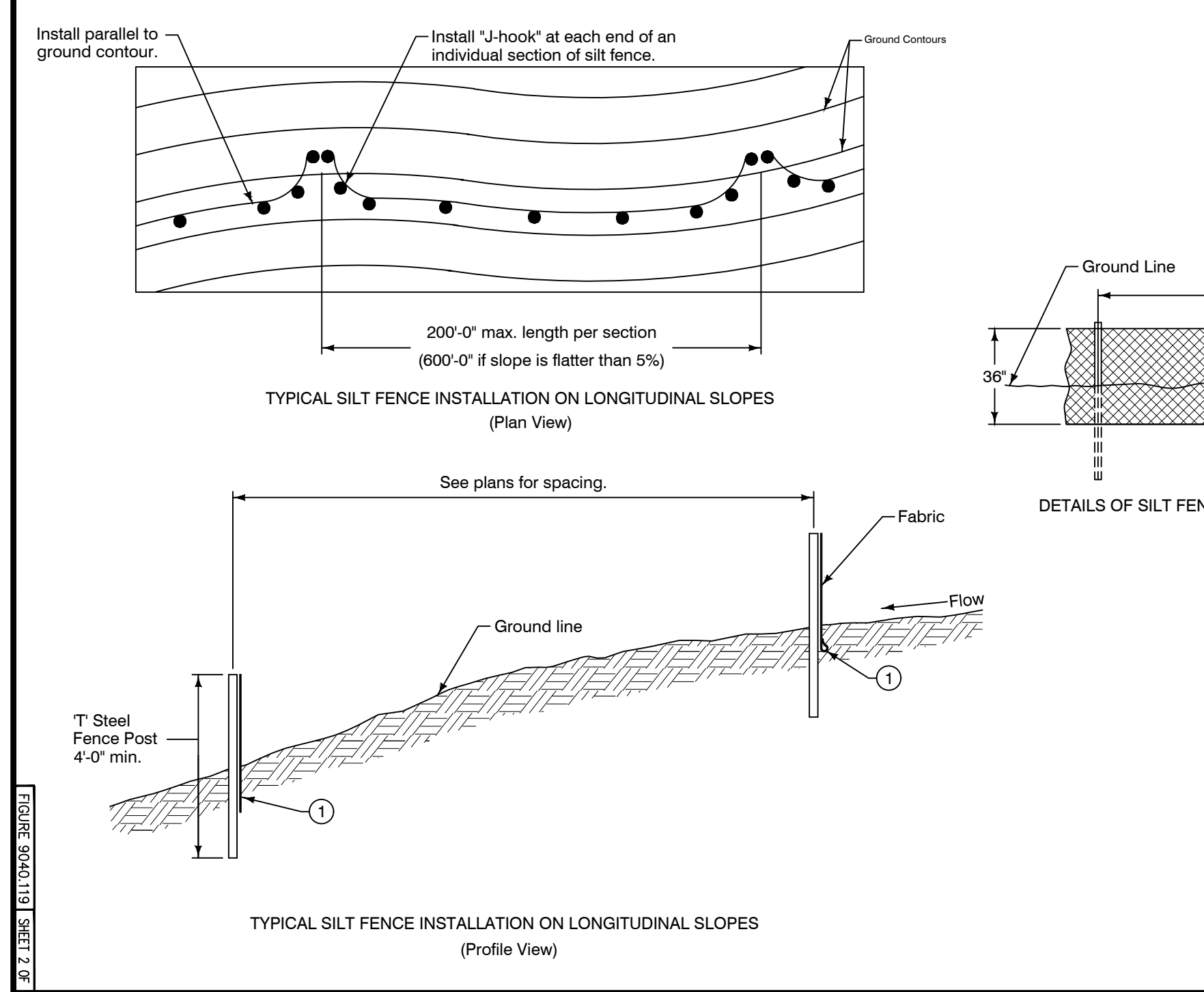
ROUND FILTER INLET PROTECTION
NTS EC210



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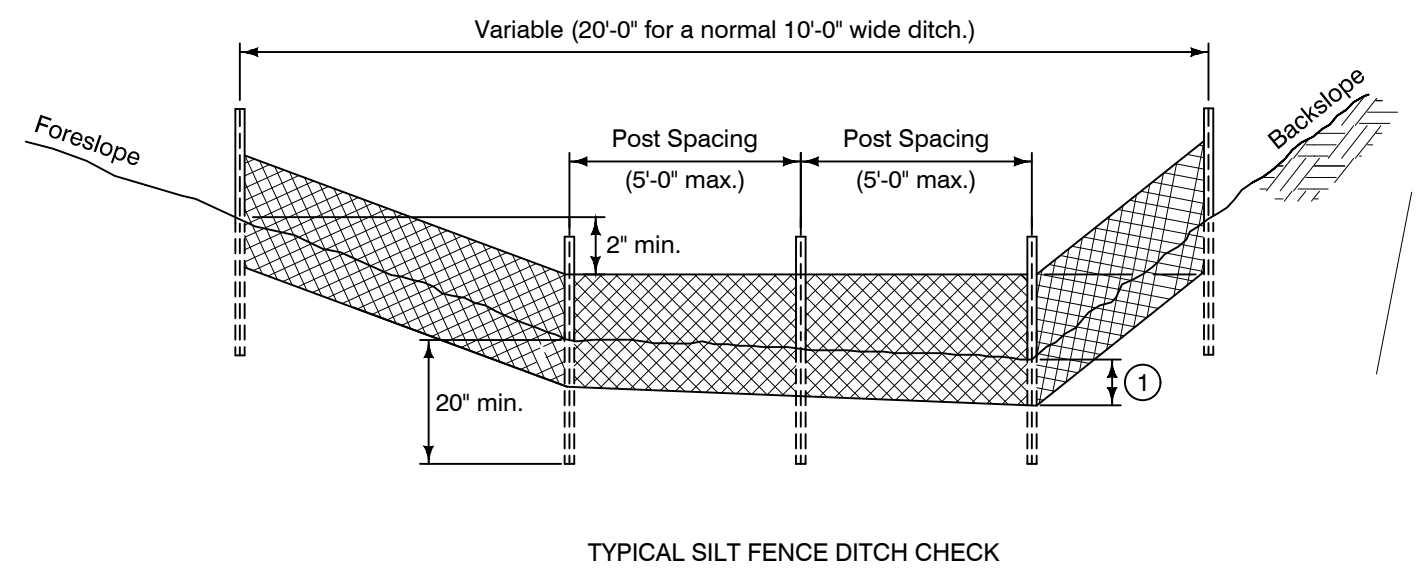
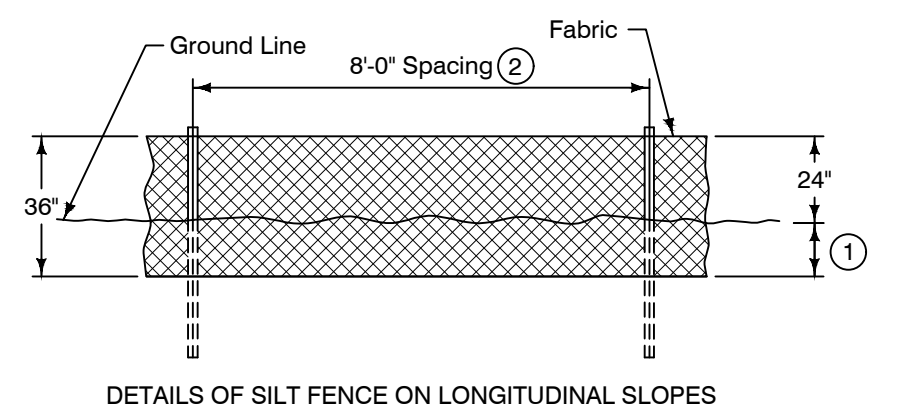


ALDI Inc. Store #: 64
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 CEDAR FALLS, IA 50613
 BLACKHAWK COUNTY
 Project Name & Location:

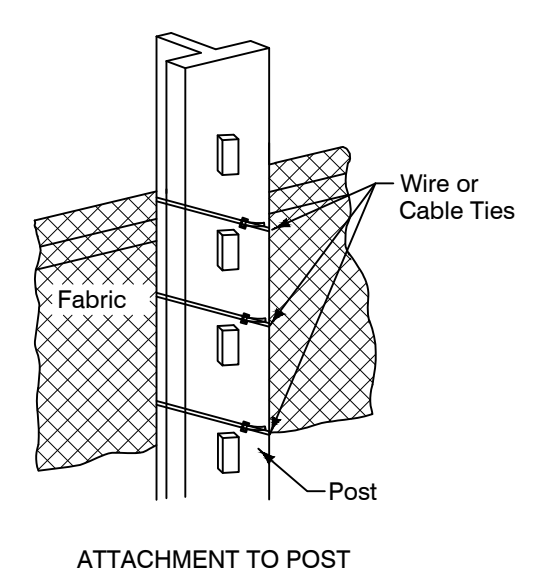


1 Insert 12 inches of fabric a minimum of 6 inches deep (fabric may be folded below the ground line).

2 Reduce post spacing to 5'-0" at water concentration areas, or as required to adequately support fence.

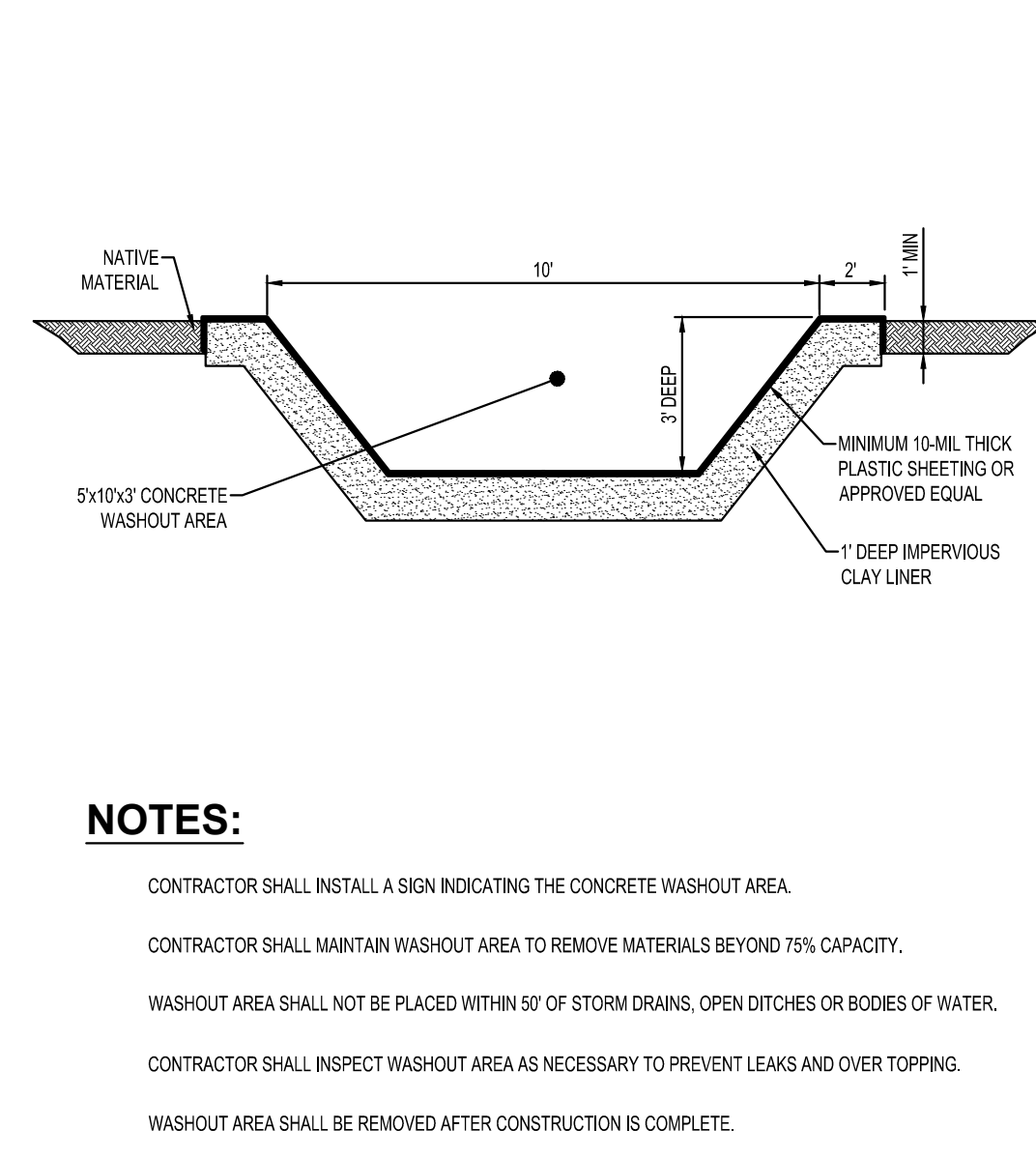


1 Insert 12 inches of fabric a minimum of 6 inches deep (fabric may be folded below the ground line).



	NUMBER 2 10-21-14
	SUDAS Standard Specifications 9040.119
	SHEET 2 OF 2

	NUMBER 2 10-21-14
	SUDAS Standard Specifications 9040.119
	SHEET 1 OF 2



NOTES:

CONTRACTOR SHALL INSTALL A SIGN INDICATING THE CONCRETE WASHOUT AREA.

CONTRACTOR SHALL MAINTAIN WASHOUT AREA TO REMOVE MATERIALS BEYOND 75% CAPACITY.

WASHOUT AREA SHALL NOT BE PLACED WITHIN 50' OF STORM DRAINS, OPEN DITCHES OR BODIES OF WATER.

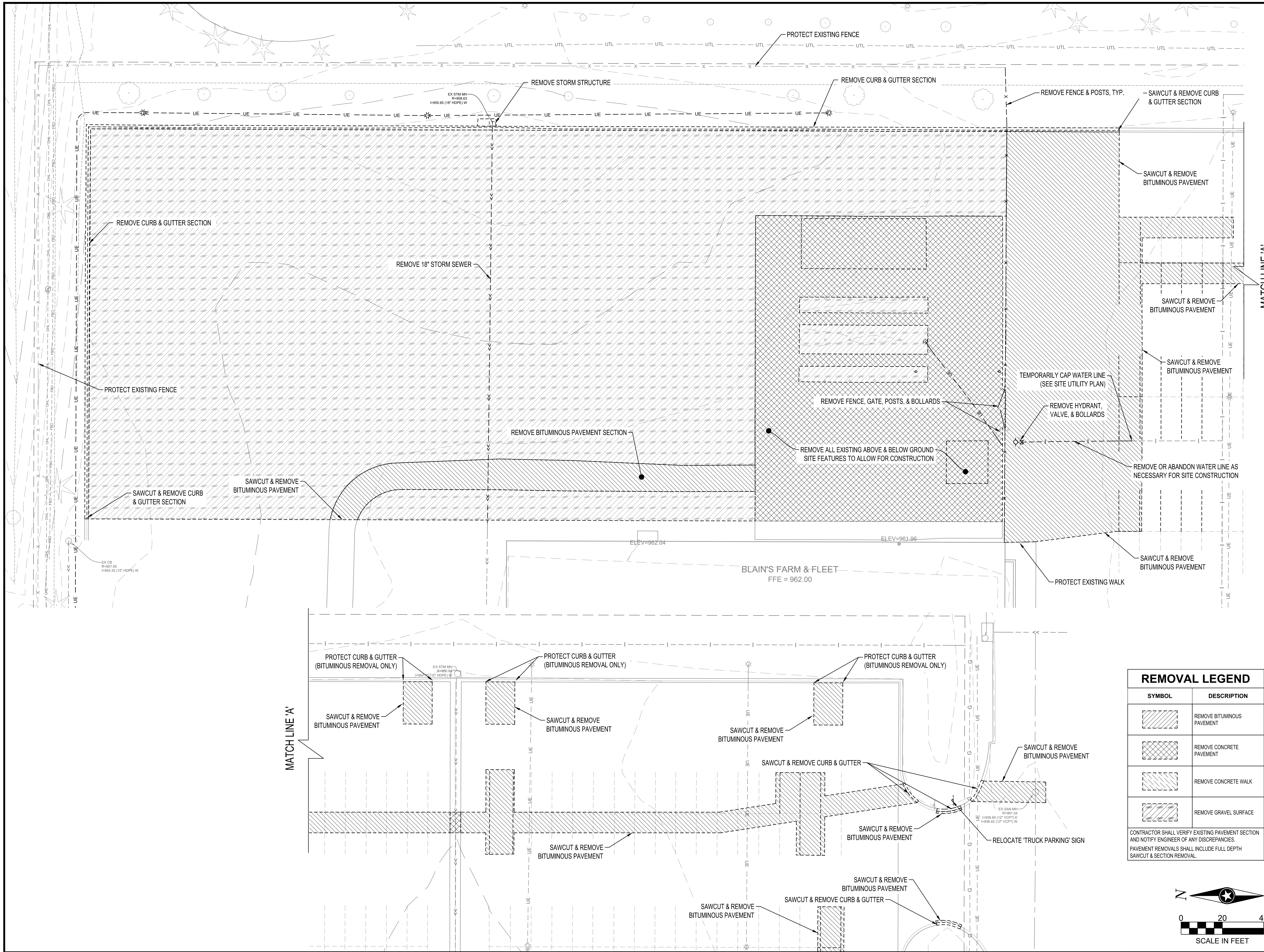
CONTRACTOR SHALL INSPECT WASHOUT AREA AS NECESSARY TO PREVENT LEAKS AND OVER TOPPING.

WASHOUT AREA SHALL BE REMOVED AFTER CONSTRUCTION IS COMPLETE.

CONCRETE WASHOUT
NTS EC500

SITE EROSION CONTROL DETAILS

Drawing Name:	ISG Project No.
Type: V7.0 ER	16-19997
Drawn By: JMF	C-120
Designed By: JMF	Drawing No.
Reviewed By: RJA	

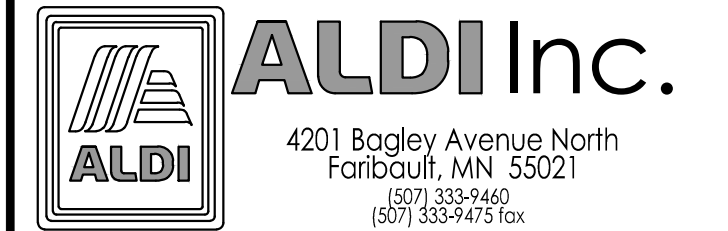


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A SITE PLAN SUBMITTAL	02/19/21
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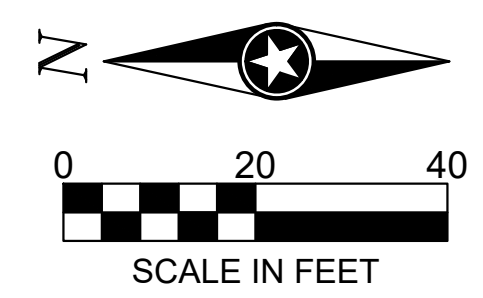
MANAGING LOCATION:
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 7900 INTERNATIONAL DRIVE
 INTERNATIONAL PLAZA, SUITE 550
 MINNEAPOLIS, MN 55425
 PHONE: 952.426.0699



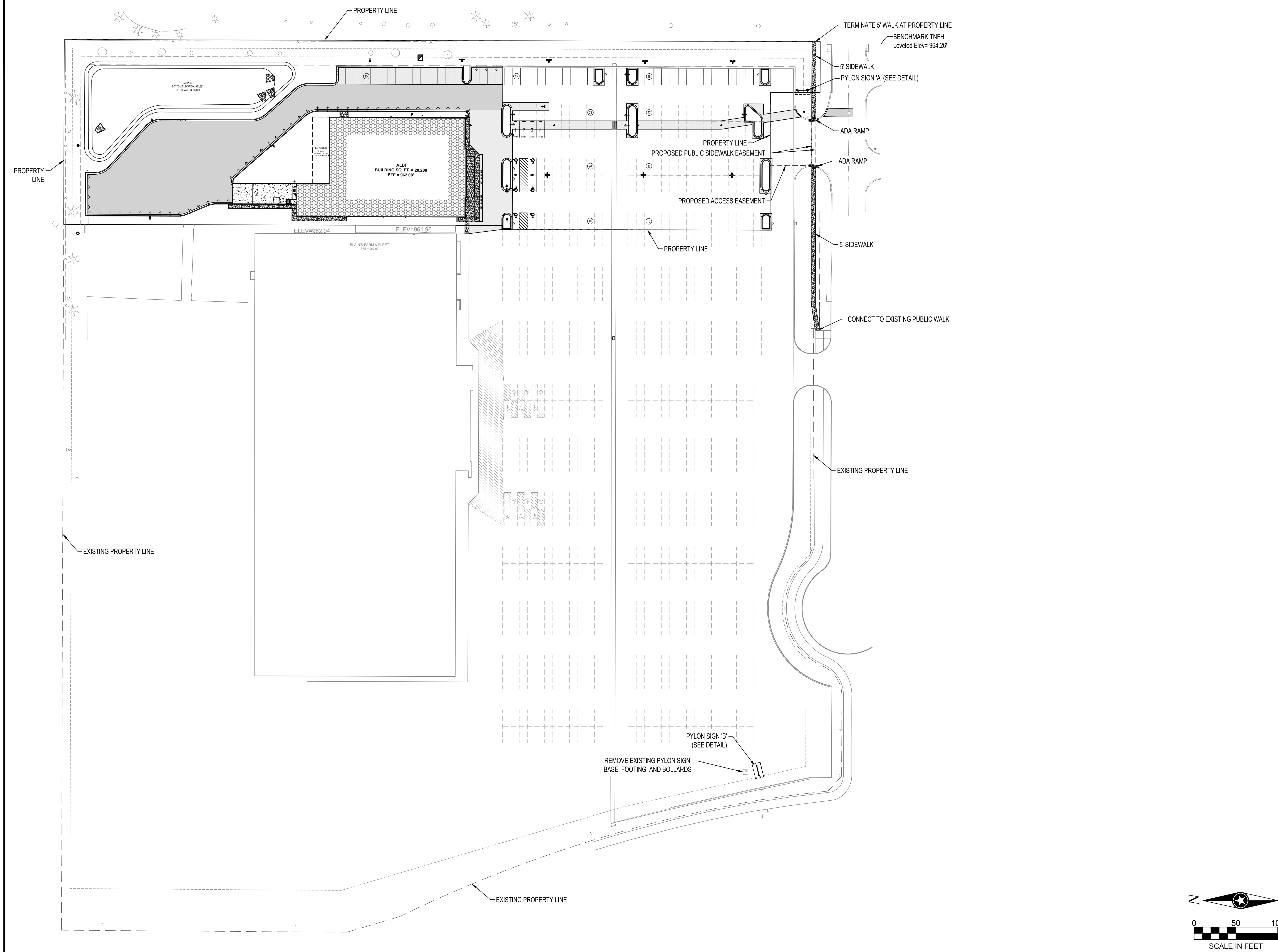
ALDI Inc. Store #: 64
CEDAR FALLS, IA
 219 BRANDILYNN BLVD
 CEDAR FALLS, IA 50613
 BLACKHAWK COUNTY
 Project Name & Location:

REMOVAL LEGEND	
SYMBOL	DESCRIPTION
	REMOVE BITUMINOUS PAVEMENT
	REMOVE CONCRETE PAVEMENT
	REMOVE CONCRETE WALK
	REMOVE GRAVEL SURFACE

CONTRACTOR SHALL VERIFY EXISTING PAVEMENT SECTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 PAVEMENT REMOVALS SHALL INCLUDE FULL DEPTH SAWCUT & SECTION REMOVAL.



EXISTING SITE & REMOVAL PLAN	
Drawing Name:	ISG Project No.
Type: V7.0 ER	16-19997
Drawn By: JMF	
Designed By: JMF	C-210
Reviewed By: RJA	Drawing No.

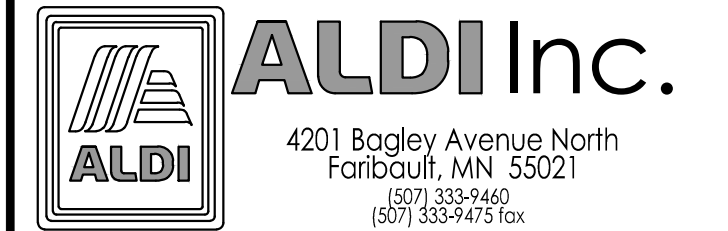


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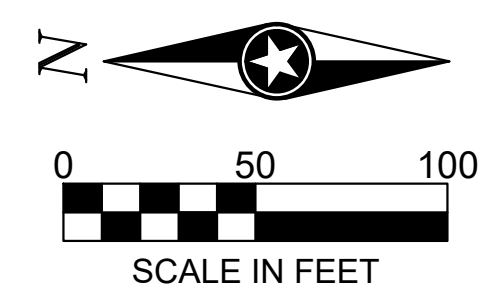
MANAGING LOCATION:
MINNEAPOLIS / ST. PAUL OFFICE
 7900 INTERNATIONAL DRIVE
 INTERNATIONAL PLAZA, SUITE 550
 MINNEAPOLIS, MN 55425
 PHONE: 952.426.0699



ALDI Inc. Store #: 64
CEDAR FALLS, IA
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 CEDAR FALLS, IA 50613
 BLACKHAWK COUNTY
 Project Name & Location:

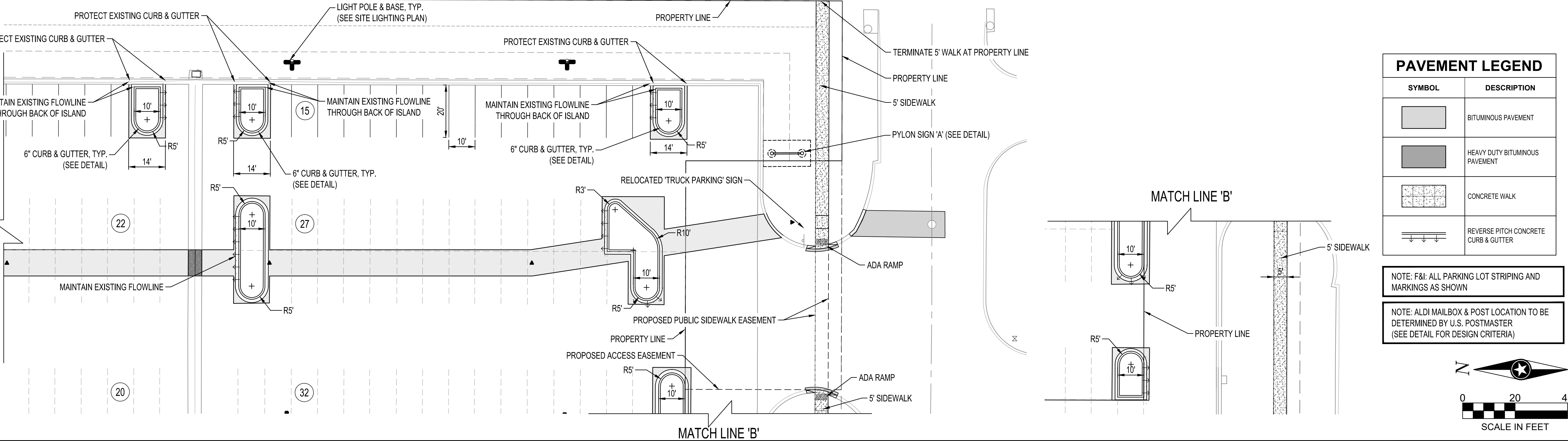
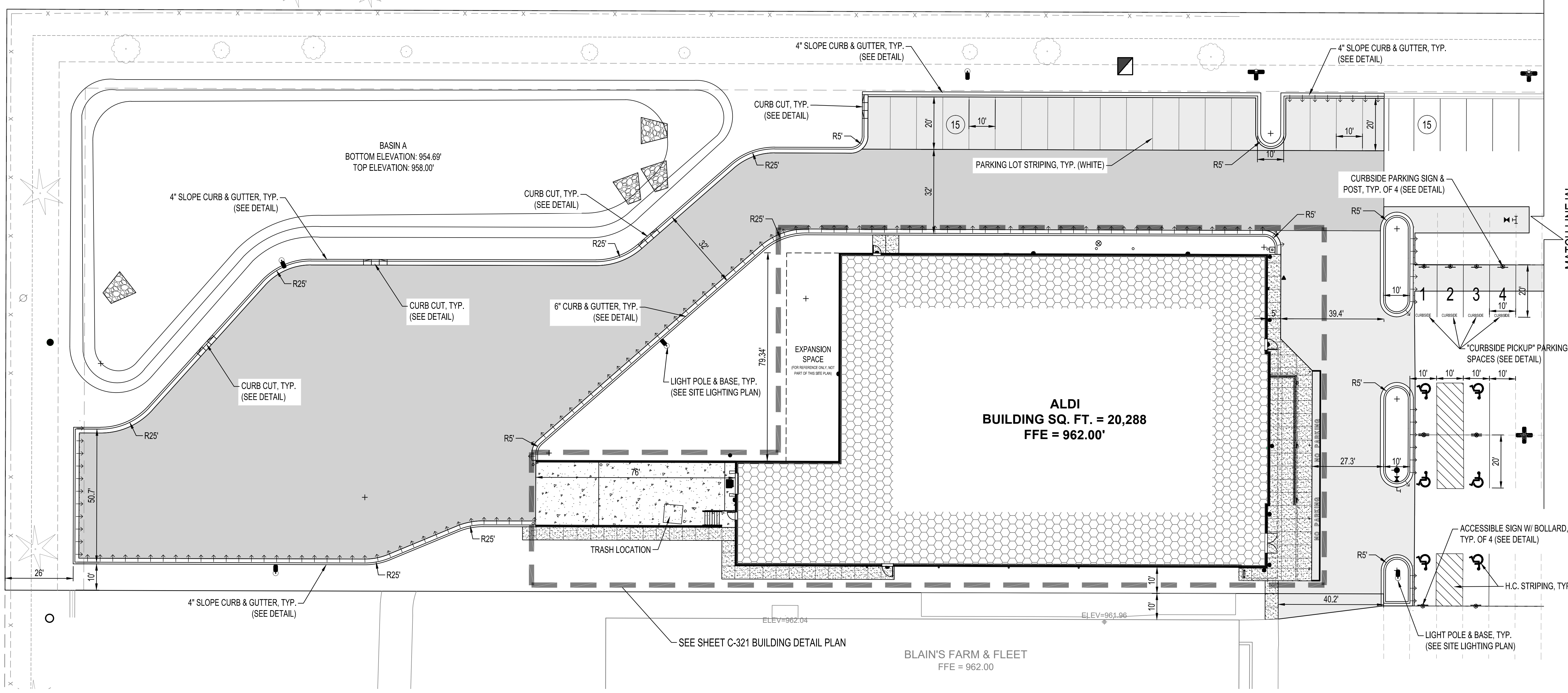
OVERALL SITE PLAN

Drawing Name:	ISG Project No.
Type: V7.0 ER	16-19997
Drawn By: JMF	C-300
Designed By: JMF	Drawing No.
Reviewed By: RJA	



Issued:	Date:
A SITE PLAN SUBMITAL	02/19/21
B PERMIT SET	03/19/21
C BID SET	04/05/21
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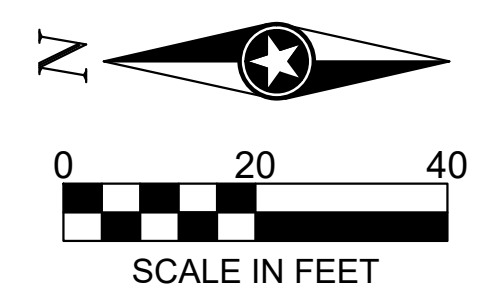
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PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
[Symbol]	BITUMINOUS PAVEMENT
[Symbol]	HEAVY DUTY BITUMINOUS PAVEMENT
[Symbol]	CONCRETE WALK
[Symbol]	REVERSE PITCH CONCRETE CURB & GUTTER

NOTE: F&I: ALL PARKING LOT STRIPING AND MARKINGS AS SHOWN

NOTE: ALDI MAILBOX & POST LOCATION TO BE DETERMINED BY U.S. POSTMASTER (SEE DETAIL FOR DESIGN CRITERIA)



MANAGING LOCATION:
MINNEAPOLIS / ST. PAUL OFFICE
 7900 INTERNATIONAL DRIVE
 INTERNATIONAL PLAZA, SUITE 550
 MINNEAPOLIS, MN 55425
 PHONE: 952.426.0699



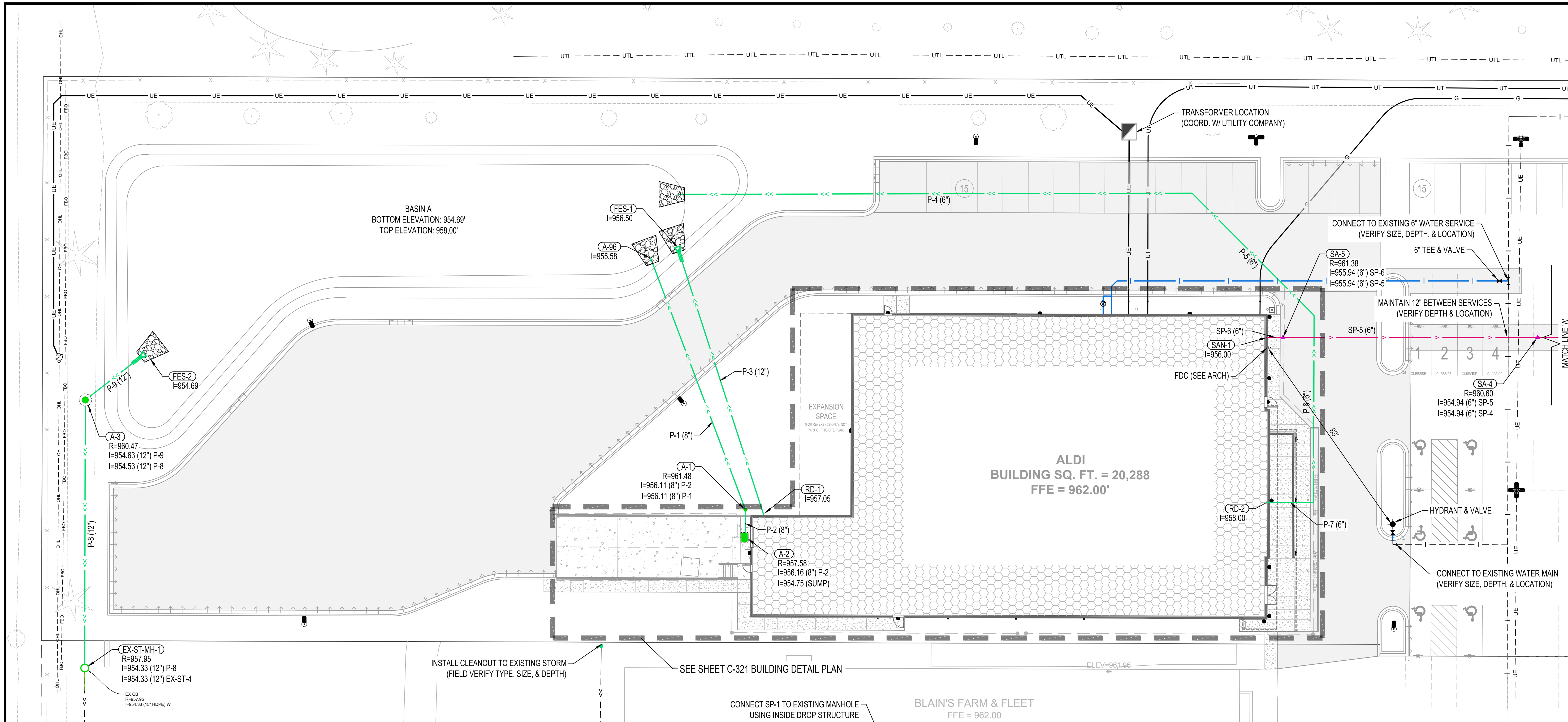
ALDI Inc. Store #: 64
CEDAR FALLS, IA
 219 BRANDILYNN BLVD
 CEDAR FALLS, IA 50613
 BLACKHAWK COUNTY
 Project Name & Location:

SITE PLAN

Drawing Name:	ISG Project No.
Type: V7.0 ER	16-19997
Drawn By: JMF	C-310
Designed By: JMF	Drawing No.
Reviewed By: RJA	

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NOTES:

- ALL UTILITIES ARE TO BE CONSTRUCTED TO 5' OUTSIDE OF BUILDING AND ARE TO BE CONNECTED TO BUILDING BY MECHANICAL/PLUMBING CONTRACTOR.
- ENSURE 18" VERTICAL BETWEEN ALL PROPOSED & EXISTING WATER, STORM, & SANITARY.
- R = TOP BACK OF CURB ELEVATIONS FOR CURB STYLE CATCH BASINS, NOT GUTTER ELEVATIONS

UTILITY LEGEND		
EXISTING		PROPOSED
--- >> ---	STORM DRAIN	--- >> ---
--- > ---	SANITARY SEWER	--- > ---
--- ---	SANITARY SEWER FORCEMAIN	--- < ---
--- ---	WATER MAIN	--- ---
--- G ---	GAS	--- G ---
--- OE ---	OVERHEAD ELECTRIC	--- OE ---
--- UE ---	UNDERGROUND ELECTRIC	--- UE ---
--- UT ---	UNDERGROUND TELEPHONE	--- UT ---
--- UTV ---	UNDERGROUND TV	--- UTV ---
--- OHL ---	OVERHEAD UTILITY	--- OHL ---
--- UTL ---	UNDERGROUND UTILITY	--- UTL ---
--- FBO ---	FIBER OPTIC	--- FBO ---

NOTE:
CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.

SANITARY SEWER STRUCTURE SCHEDULE							
STRUCTURE NO.	STRUCTURE TYPE	STRUCTURE SIZE (in)	STRUCTURE MATERIAL	CASTING	TOP OF CASTING ELEVATION	INVERT ELEVATION	OUTLET PIPE
SA-1	CLEANOUT	6 Ø	PVC	SOLID	962.28	951.94	SP-1
SA-2	CLEANOUT	6 Ø	PVC	SOLID	961.26	952.94	SP-2
SA-3	CLEANOUT	6 Ø	PVC	SOLID	960.33	953.94	SP-3
SA-4	CLEANOUT	6 Ø	PVC	SOLID	960.60	954.94	SP-4
SA-5	CLEANOUT	6 Ø	PVC	SOLID	961.38	955.94	SP-5

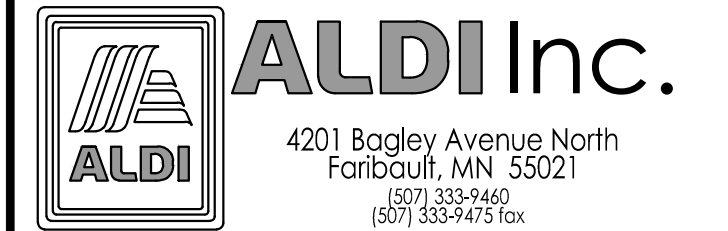
SANITARY SEWER PIPE SCHEDULE									
PIPE NO.	DRAIN FROM	INLET ELEVATION	DRAIN TO	OUTLET ELEVATION	PIPE SIZE	MATERIAL	PIPE CLASS	PIPE GRADE	PIPE LENGTH (FT)
SP-1	SA-1	951.94	EX-SAN-MH-1	951.41	6"	PVC	SDR-26	1.00%	53
SP-2	SA-2	952.94	SA-1	951.94	6"	PVC	SDR-26	1.00%	100
SP-3	SA-3	953.94	SA-2	952.94	6"	PVC	SDR-26	1.00%	100
SP-4	SA-4	954.94	SA-3	953.94	6"	PVC	SDR-26	1.00%	100
SP-5	SA-5	955.94	SA-4	954.94	6"	PVC	SDR-26	1.00%	100
SP-6	SAN-1	956.00	SA-5	955.94	6"	PVC	SDR-26	1.00%	6

STORM DRAIN PIPE SCHEDULE								
PIPE NO.	DRAIN FROM	INLET ELEVATION	DRAIN TO	OUTLET ELEVATION	PIPE SIZE (IN)	MATERIAL	PIPE GRADE	PIPE LENGTH (FT)
P-1	A-1	956.11	A-96	955.58	8	PVC	0.50%	105
P-2	A-2	956.16	A-1	956.11	8	PVC	0.50%	11
P-3	RD-1	957.05	FES-1	956.50	12	HDPE	0.50%	110
P-4	A-88	957.11	A-87	956.00	6	PVC	0.55%	201
P-5	A-89	957.48	A-88	957.11	6	PVC	0.55%	68
P-6	A-90	957.88	A-89	957.48	6	PVC	0.55%	73
P-7	RD-2	958.00	A-90	957.89	6	PVC	0.62%	18
P-8	A-3	954.53	EX-ST-MH-1	954.33	12	HDPE	0.19%	105
P-9	FES-2	954.69	A-3	954.63	12	HDPE	0.19%	29

STORM DRAIN APRON SCHEDULE				
APRON NO.	APRON SIZE (in)	APRON MATERIAL	INVERT ELEVATION	PIPE NO.
FES-1	12	HDPE	956.50	P-3
FES-2	12	HDPE	954.69	P-9

STORM DRAIN STRUCTURE SCHEDULE							
STRUCTURE NO.	STRUCTURE TYPE	STRUCTURE SIZE (in)	STRUCTURE MATERIAL	CASTING	* TOP OF CASTING ELEVATION	INVERT ELEVATION	OUTLET PIPE
A-1	CLEANOUT	8 Ø	PVC	SOLID	961.48	956.11	P-1
A-2	SEE DETAIL	36 x 24	RC	NEENAH R-3210-Q	957.58	954.75	P-2
A-3	SW-401	48 Ø	RC	OVERFLOW GRATE	960.47	954.53	P-8

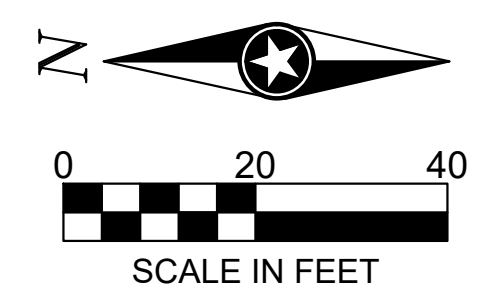
MANAGING LOCATION:
MINNEAPOLIS / ST. PAUL OFFICE
7900 INTERNATIONAL DRIVE
INTERNATIONAL PLAZA, SUITE 550
MINNEAPOLIS, MN 55425
PHONE: 952.426.0699

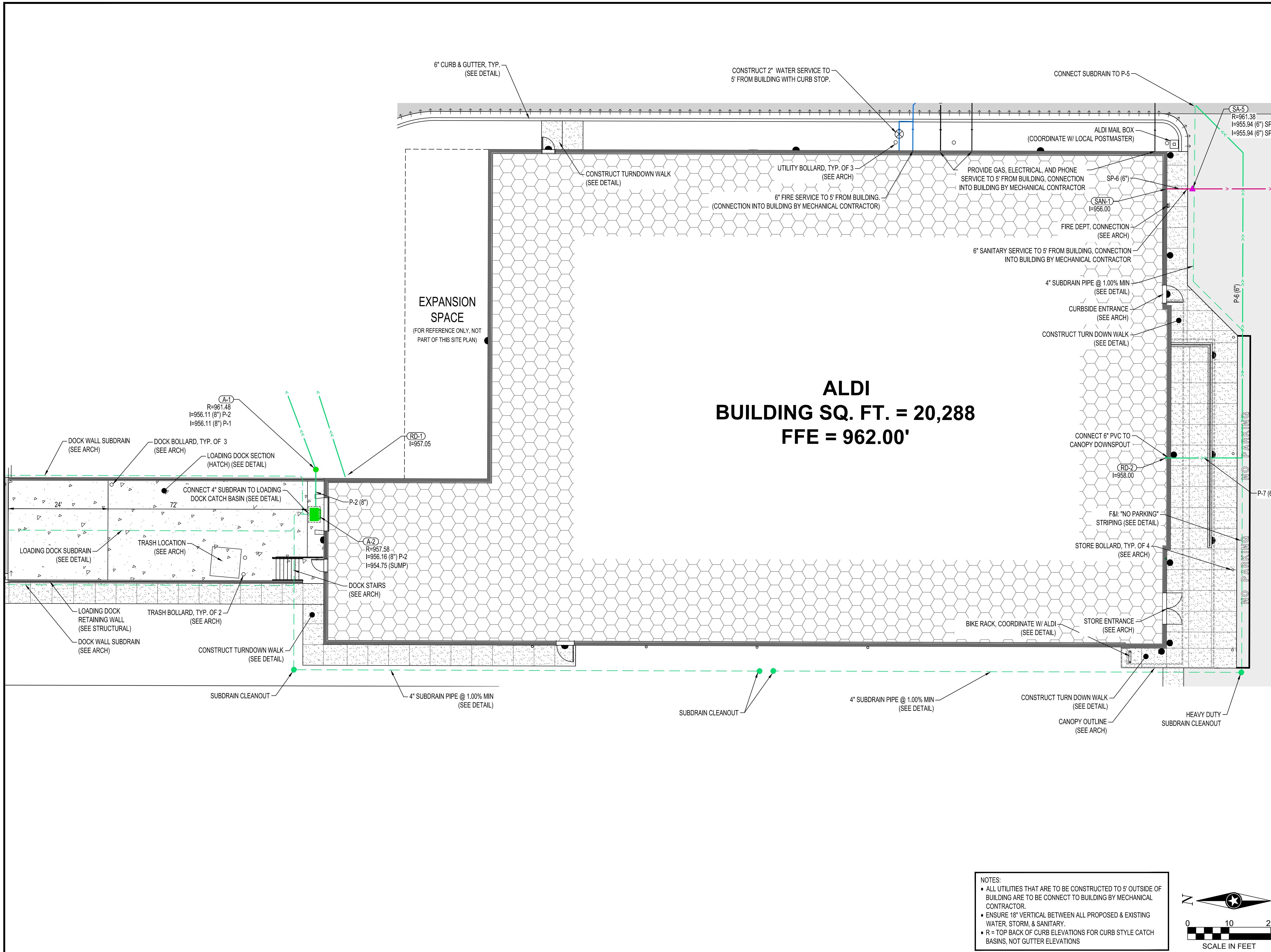


ALDI Inc. Store #: 64
CEDAR FALLS, IA
219 BRANDILYNN BLVD
CEDAR FALLS, IA 50613
BLACKHAWK COUNTY
Project Name & Location:

SITE UTILITY PLAN

Drawing Name:	ISG Project No.
Type: V7.0 ER	16-19997
Drawn By: JMF	C-320
Designed By: JMF	Drawing No.
Reviewed By: RJA	





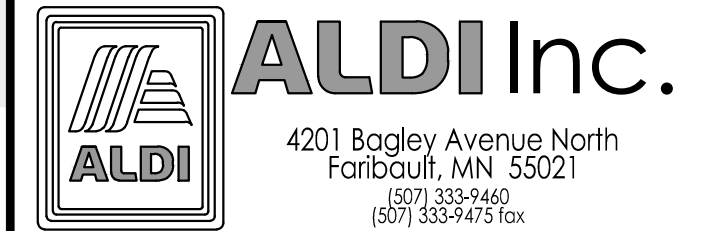
ALDI
BUILDING SQ. FT. = 20,288
FFE = 962.00'

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 7900 INTERNATIONAL DRIVE
 INTERNATIONAL PLAZA, SUITE 550
 MINNEAPOLIS, MN 55425
 PHONE: 952.426.0699

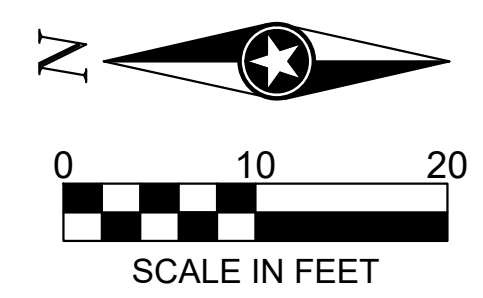


ALDI Inc. Store #: 64
CEDAR FALLS, IA
 219 BRANDILYNN BLVD
 CEDAR FALLS, IA 50613
 BLACKHAWK COUNTY
 Project Name & Location:

BUILDING DETAIL PLAN

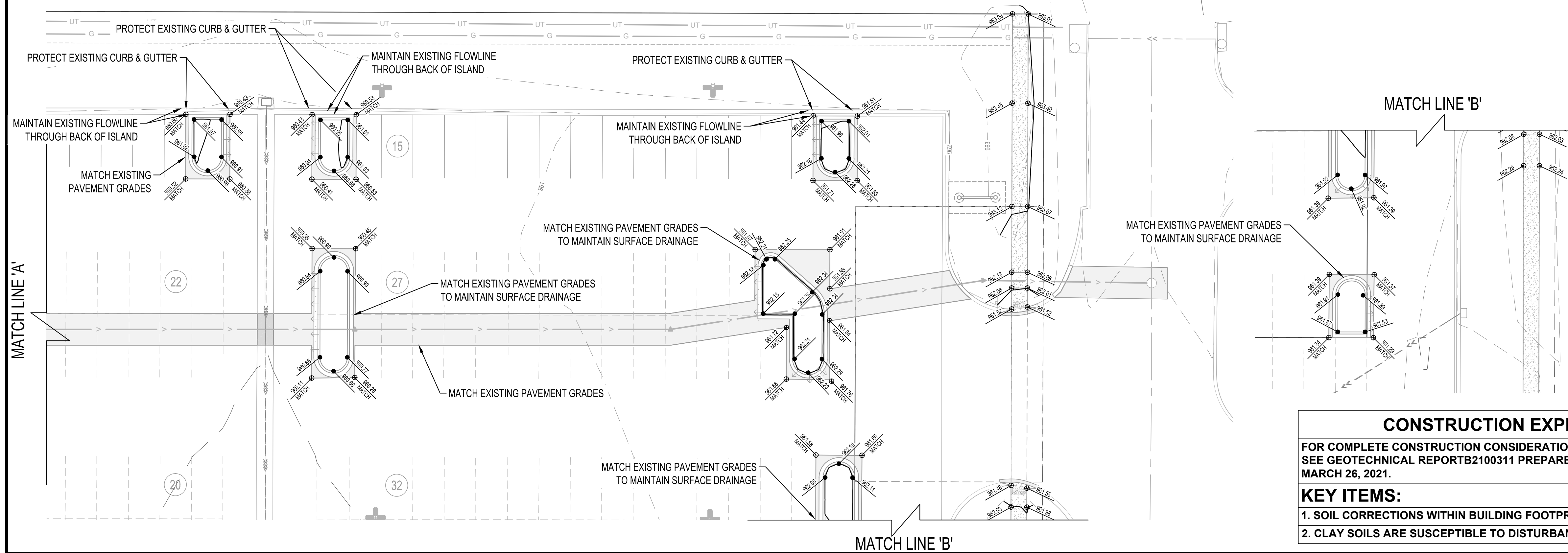
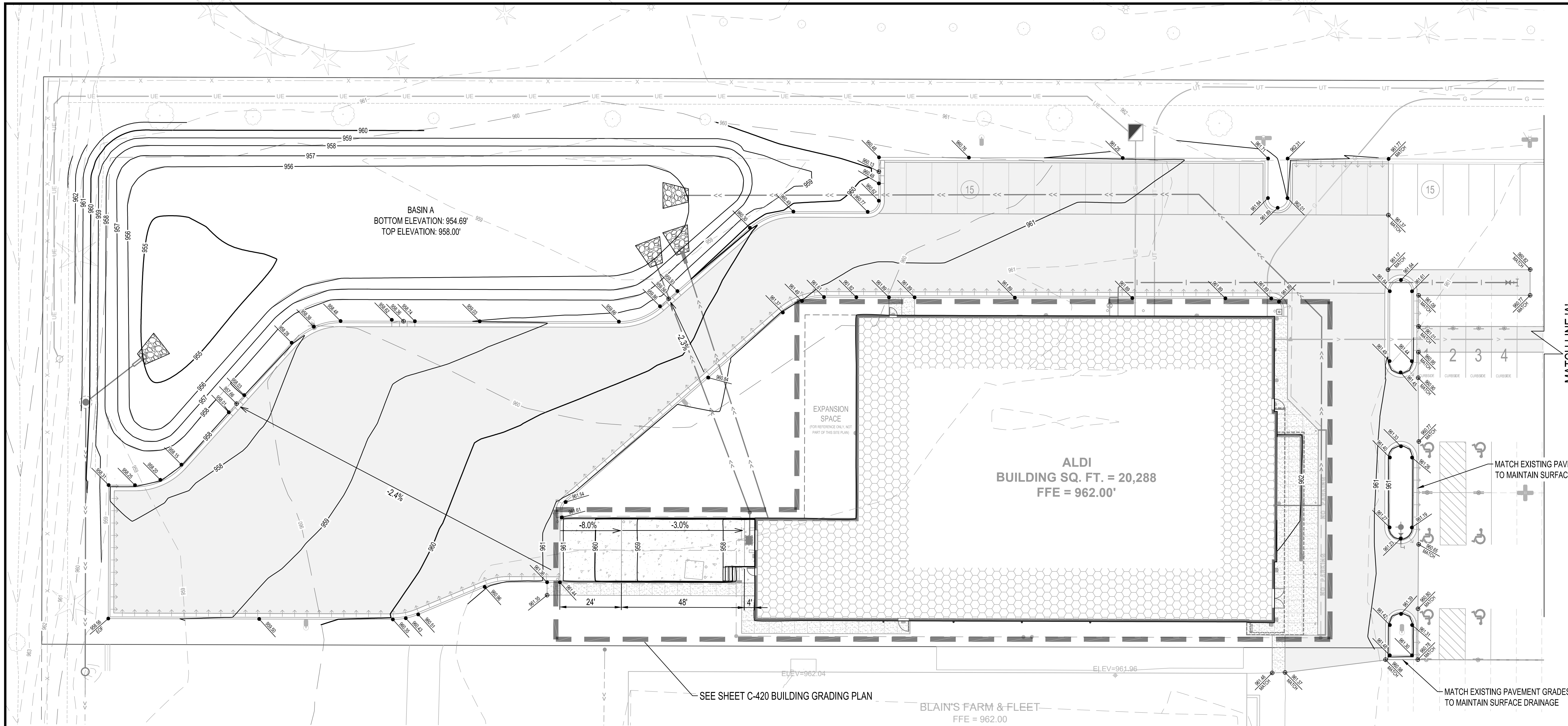
Drawing Name:	ISG Project No.
Type: V7.0 ER	16-19997
Drawn By: JMF	
Designed By: JMF	C-321
Reviewed By: RJA	Drawing No.

- NOTES:**
- ALL UTILITIES THAT ARE TO BE CONSTRUCTED TO 5' OUTSIDE OF BUILDING ARE TO BE CONNECT TO BUILDING BY MECHANICAL CONTRACTOR.
 - ENSURE 18" VERTICAL BETWEEN ALL PROPOSED & EXISTING WATER, STORM, & SANITARY.
 - R = TOP BACK OF CURB ELEVATIONS FOR CURB STYLE CATCH BASINS, NOT GUTTER ELEVATIONS



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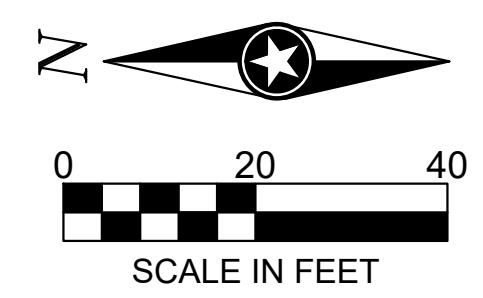


GRADING LEGEND	
---101---	EXISTING CONTOUR (MINOR INTERVAL)
---100---	EXISTING CONTOUR (MAJOR INTERVAL)
—101—	PROPOSED CONTOUR (MINOR INTERVAL)
—100—	PROPOSED CONTOUR (MAJOR INTERVAL)
● 961.2	PROPOSED SPOT ELEVATION
● 961.2	PROPOSED TOP BACK OF CURB SPOT ELEVATION
-X.X%	SURFACE GRADE / DIRECTION

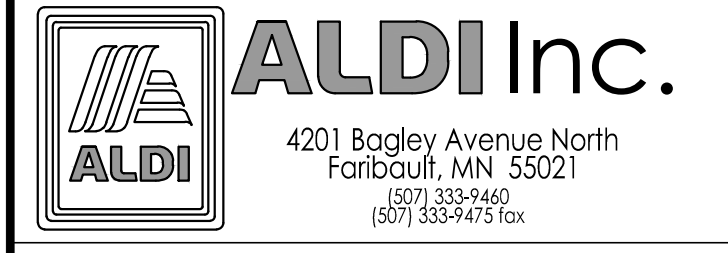
GENERAL GRADING NOTES
 PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD AND PAVEMENT HOLD DOWNS ARE NOT INCLUDED. WHEN CONSTRUCTING BUILDING PADS WITH A HOLD DOWN, GRADE AREAS TO ENSURE POSITIVE BUILDING PAD DRAINAGE.

CONSTRUCTION EXPECTATIONS
 FOR COMPLETE CONSTRUCTION CONSIDERATIONS AND EXPECTED CONDITIONS, SEE GEOTECHNICAL REPORT B2100311 PREPARED BY BRAUN INTERTEC DATED MARCH 26, 2021.

KEY ITEMS:
 1. SOIL CORRECTIONS WITHIN BUILDING FOOTPRINT.
 2. CLAY SOILS ARE SUSCEPTIBLE TO DISTURBANCE AND MOISTURE.



MANAGING LOCATION:
 MINNEAPOLIS / ST. PAUL OFFICE
 7900 INTERNATIONAL DRIVE
 INTERNATIONAL PLAZA, SUITE 550
 MINNEAPOLIS, MN 55425
 PHONE: 952.426.0699



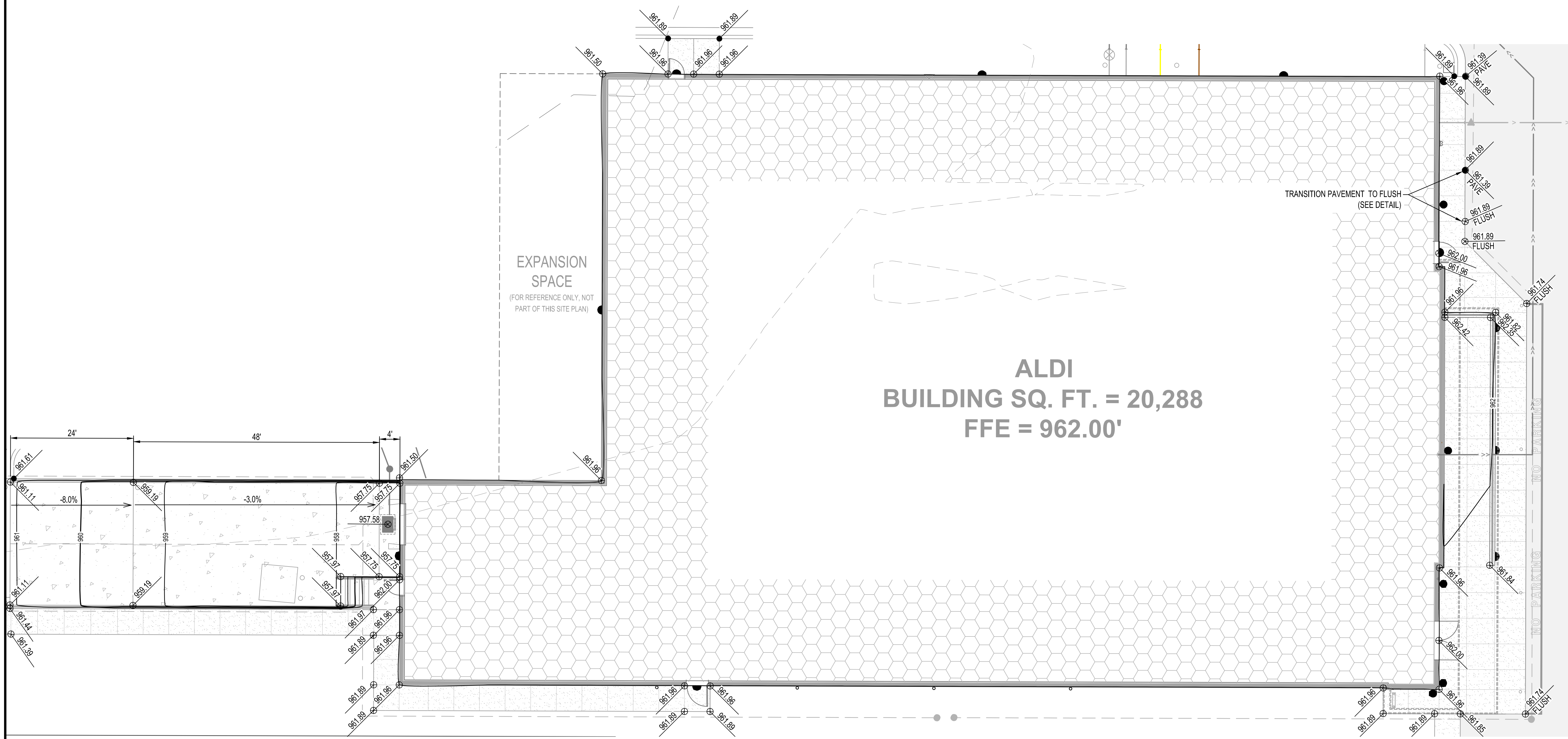
ALDI Inc. Store #: 64
 CEDAR FALLS, IA
 219 BRANDILYNN BLVD
 CEDAR FALLS, IA 50613
 BLACKHAWK COUNTY

Project Name & Location:
SITE GRADING PLAN

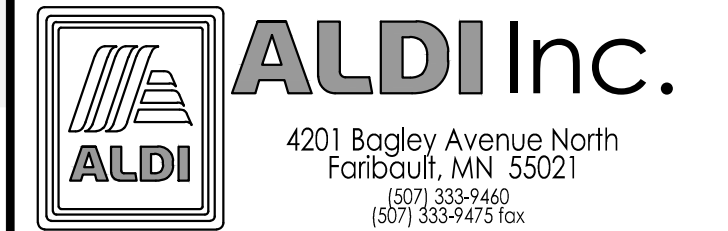
Drawing Name:	ISG Project No.
Type: V7.0 ER	16-19997
Drawn By: JMF	
Designed By: JMF	C-410
Reviewed By: RJA	Drawing No.

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MANAGING LOCATION:
MINNEAPOLIS / ST. PAUL OFFICE
 7900 INTERNATIONAL DRIVE
 INTERNATIONAL PLAZA, SUITE 550
 MINNEAPOLIS, MN 55425
 PHONE: 952.426.0699

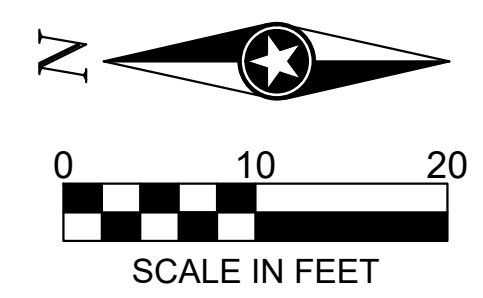


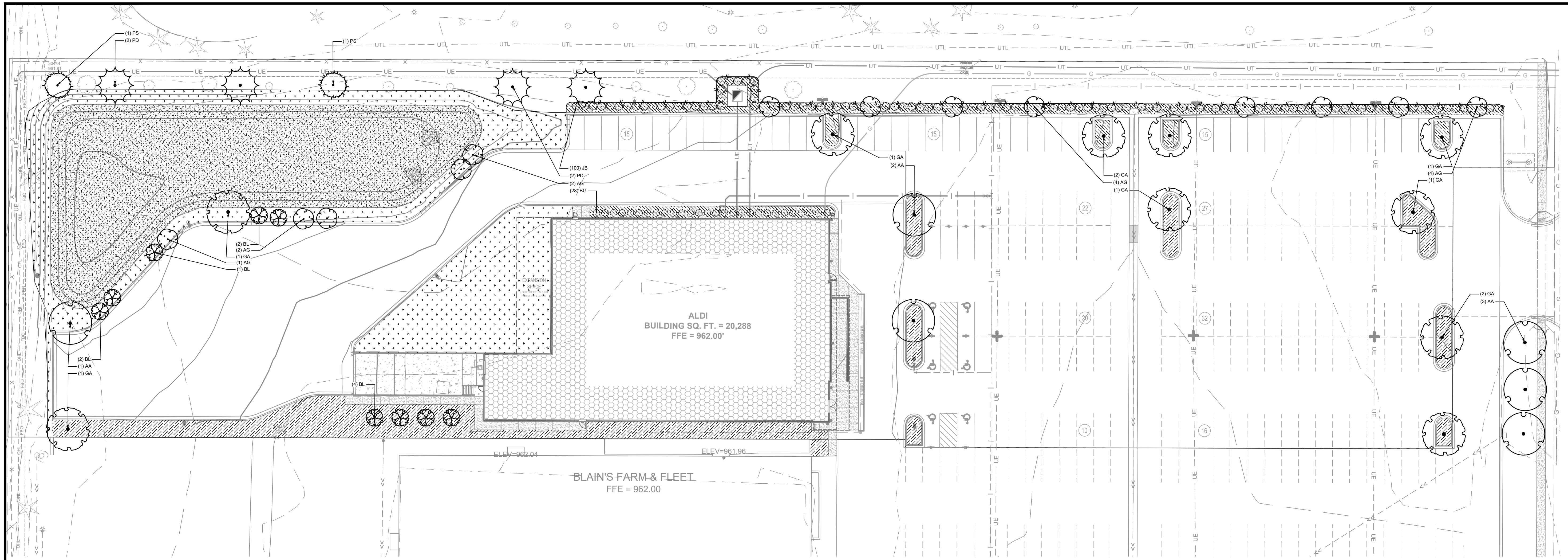
ALDI Inc. Store #: 64
 CEDAR FALLS, IA
 219 BRANDILYNN BLVD
 CEDAR FALLS, IA 50613
 BLACKHAWK COUNTY
 Project Name & Location:

BUILDING GRADING PLAN
 Drawing Name:
 Type: V7.0 ER
 Drawn By: JMF
 Designed By: JMF
 Reviewed By: RJA
 ISG Project No.
 16-19997
 C-420
 Drawing No.

GRADING LEGEND	
--- 101 ---	EXISTING CONTOUR (MINOR INTERVAL)
--- 100 ---	EXISTING CONTOUR (MAJOR INTERVAL)
— 101 —	PROPOSED CONTOUR (MINOR INTERVAL)
— 100 —	PROPOSED CONTOUR (MAJOR INTERVAL)
● 952.0	PROPOSED SPOT ELEVATION
● 952.0	PROPOSED TOP BACK OF CURB SPOT ELEVATION
-X.X%	SURFACE GRADE / DIRECTION

GENERAL GRADING NOTES
 PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD AND PAVEMENT HOLD DOWNS ARE NOT INCLUDED.





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PLANT SCHEDULE					
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
	PD	4	PICEA GLAUCA 'DENSATA' BLACK HILLS SPRUCE	6' HT MIN	B & B
	PS	2	PINUS STROBUS WHITE PINE	6' HT MIN	B & B
OVERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
	AA	6	ACER X FREEMANII 'JEFFSRED' TM AUTUMN BLAZE FREEMAN MAPLE	2" CAL	B & B
	GA	10	GINKGO BILOBA 'AUTUMN GOLD' TM AUTUMN GOLD MAIDENHAIR TREE	2" CAL	B & B
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
	AG	13	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE APPLE SERVICEBERRY	2" CAL	B & B
	BL	9	BETULA NIGRA 'LITTLE KING' TM FOX VALLEY DWARF RIVER BIRCH	2" CAL	B & B
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
	BG	28	BUXUS X 'GLENCOE' TM CHICAGOLAND GREEN BOXWEED	5 GAL	CONT
	JB	100	JUNIPERUS CHINENSIS 'DAUB'S FROSTED' DAUB'S FROSTED JUNIPER	5 GAL	CONT

PREFERENCE NOTES SCHEDULES		
EDGER	QTY	DESCRIPTION
	588 LF	POLYEDGER
GROUND COVERS	QTY	DESCRIPTION
	17,824 SF	DRY DETENTION BASIN SEED MIX (PRAIRIE MOON NURSERY)
	12,382 SF	ROCK MULCH 2" DIA RIVER ROCK AT 3" DEPTH
	13,737 SF	TURF SOD MIX (IADOT APPROVED MIXES)

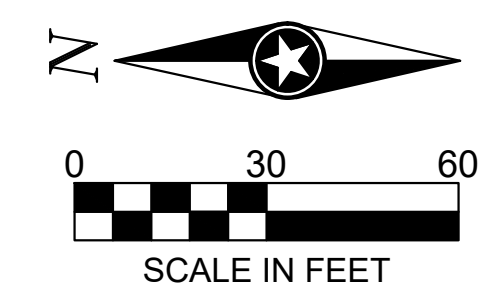
HWY-1 HIGHWAY COMMERCIAL DISTRICT LANDSCAPE REQUIREMENTS:

SITE AREA POINTS
 .02 Points / 1 SF (188,756 x .02) = 3,775 Points Requirements
 (6 Trees x 80 Points) = 480 Points (6' HT Trees Proposed)
 (2 Existing Trees x 100 Points) = 200 Points (10' HT or Greater Conifer Trees)
 (3 Trees x 80 Points) = 240 Points (2" CAL Overstory Trees)
 (22 Trees x 40 Points) = 880 Points (2" CAL Understory Trees)
 (7 Existing Trees x 100 Points) = 700 Points (4" CAL or Greater Overstory Trees)
 (126 Shrubs x 10 Points) = 1,260 Points (5 Gallon Shrubs)
 Total Site Area Points = 3,780 Points Proposed

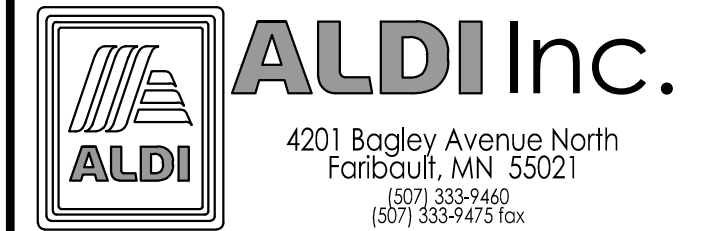
STREET FRONTAGE POINTS
 .75 Points / 1 LF (220 x .75) = 165 Points Required
 (3 Trees x 80 Points) = 240 Points (2" CAL Understory)
 Total Street Frontage Points = 240 Points Proposed

PARKING TREES REQUIRED
 10 Overstory Trees / 15 Parking Stalls (185 / 15) = (12) 2" CAL Trees
 Less (2) Existing Site Trees = (1) 2" CAL Overstory Tree
 Total Parking Lot Trees = 12 Trees Proposed

**FOR INFORMATION ON IRRIGATION
SEE DETAIL SHEET**



**MANAGING LOCATION:
MINNEAPOLIS / ST. PAUL OFFICE**
 7900 INTERNATIONAL DRIVE
 INTERNATIONAL PLAZA, SUITE 550
 MINNEAPOLIS, MN 55425
 PHONE: 952.426.0699

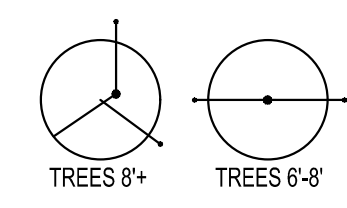


ALDI Inc. Store #: 64
 CEDAR FALLS, IA
 219 BRANDILYNN BLVD
 CEDAR FALLS, IA 50613
 BLACKHAWK COUNTY
 Project Name & Location:

SITE RESTORATION & PLANTING PLAN	
Drawing Name:	ISG Project No.
Type: V7.0 ER	16-19997
Drawn By: JMF	
Designed By: JMF	C-510
Reviewed By: RJA	Drawing No.

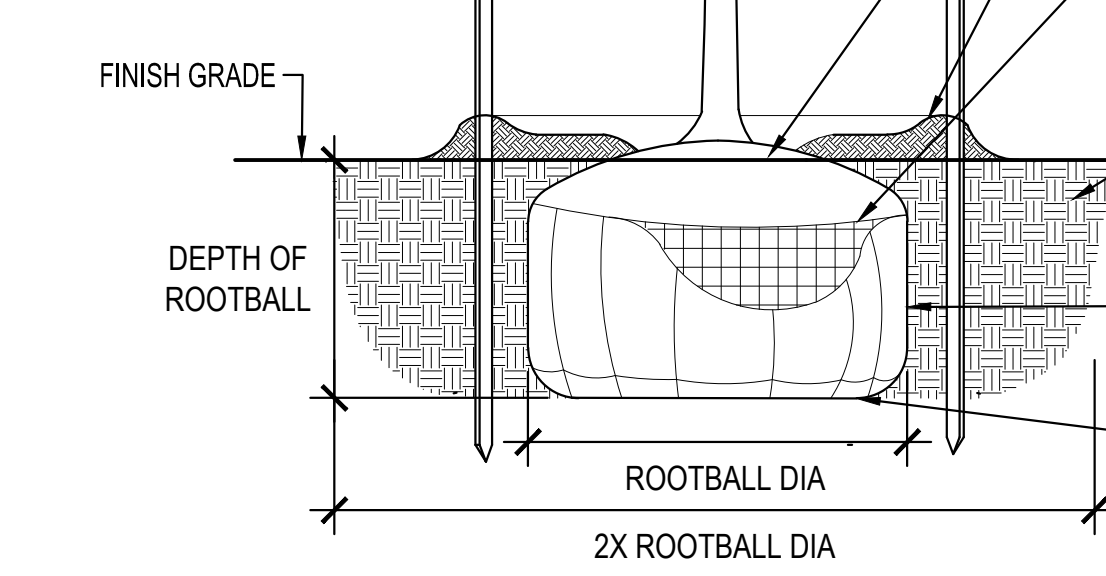
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***NOTE: DO NOT STAKE TREES UNLESS INDICATED.**



STAKING DIAGRAM, NO STAKING TREES UNDER 6'

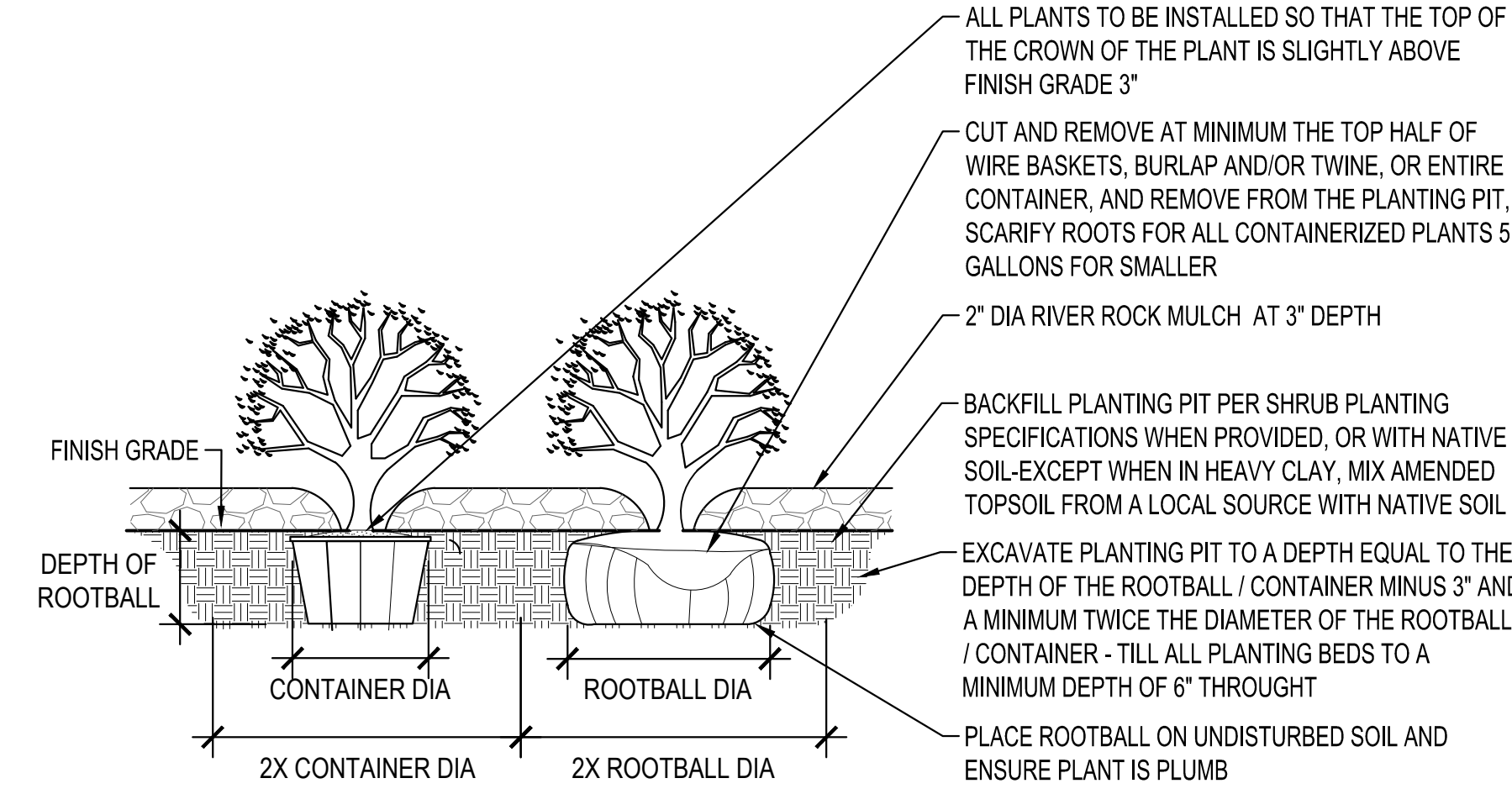
HARDWOOD STAKES
2"x2"x8' LONG -
INSTALL OUTSIDE
OF ROOTBALL AT 5'
MAX HT



- NEVER CUT PRIMARY LEADER
- PRUNE ALL BROKEN, DAMAGED, OR RUBBING LIMBS AND BRANCHES IMMEDIATELY AFTER PLANTING - ALL PRUNING CUTS CLEAN AT 90 DEGREES
- TIE NYLON STRAP AROUND TRUNK AS SHOWN
- 1/2" WIDE NYLON STRAPPING - COLOR TO BE APPROVED BY LANDSCAPE ARCHITECT
- TOP OF ROOTBALL TO BE SET ABOVE GRADE 3"
- 3" LAYER OF DOUBLE SHREDDED HARDWOOD MULCH (NATURAL COLOR) MOUNDED AT EDGE TO FORM A SHALLOW SAUCER - DO NOT PLACE MULCH DIRECTLY ON TREE TRUNK, LEAVE A MIN. 3" RING AROUND CROWN. WHEN PLACED IN PLANTING BED USE PLANTING BED MULCH SPECIFIED
- CUT AND REMOVE AT MINIMUM THE TOP HALF OF WIRE BASKETS, BURLAP AND/OR TWINE AND REMOVE FROM THE PLANTING PIT. AVOID CUTTING OR SCARING ROOTS. ANY ROOTS THAT ARE SCARED OR BROKEN DURING PLANTING SHOULD BE CUT CLEAN AT 90 DEGREES
- BACKFILL PLANTING PIT PER TREE PLANTING SPECIFICATIONS WHEN PROVIDED, OR WITH NATIVE SOIL-EXCEPT WHEN IN HEAVY CLAY, MIX AMENDED TOPSOIL FROM A LOCAL SOURCE WITH NATIVE SOIL
- EXCAVATE PLANTING PIT TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL MINUS 3" AND A MINIMUM TWICE THE DIAMETER OF THE ROOTBALL
- PLACE ROOTBALL ON UNDISTURBED SOIL AND ENSURE TRUNK OF TREES IS PLUMB

DECIDUOUS TREE PLANTING DETAIL

SCALE: 1" = 1'-0

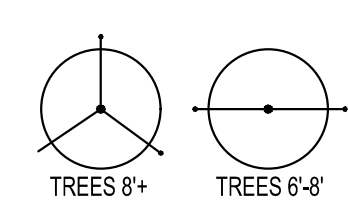


- ALL PLANTS TO BE INSTALLED SO THAT THE TOP OF THE CROWN OF THE PLANT IS SLIGHTLY ABOVE FINISH GRADE 3"
- CUT AND REMOVE AT MINIMUM THE TOP HALF OF WIRE BASKETS, BURLAP AND/OR TWINE, OR ENTIRE CONTAINER, AND REMOVE FROM THE PLANTING PIT, SCARIFY ROOTS FOR ALL CONTAINERIZED PLANTS 5 GALLONS FOR SMALLER
- 2" DIA RIVER ROCK MULCH AT 3" DEPTH
- BACKFILL PLANTING PIT PER SHRUB PLANTING SPECIFICATIONS WHEN PROVIDED, OR WITH NATIVE SOIL-EXCEPT WHEN IN HEAVY CLAY, MIX AMENDED TOPSOIL FROM A LOCAL SOURCE WITH NATIVE SOIL
- EXCAVATE PLANTING PIT TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL / CONTAINER MINUS 3" AND A MINIMUM TWICE THE DIAMETER OF THE ROOTBALL / CONTAINER - TILL ALL PLANTING BEDS TO A MINIMUM DEPTH OF 6" THROUGHOUT
- PLACE ROOTBALL ON UNDISTURBED SOIL AND ENSURE PLANT IS PLUMB

SHRUB PLANTING DETAIL

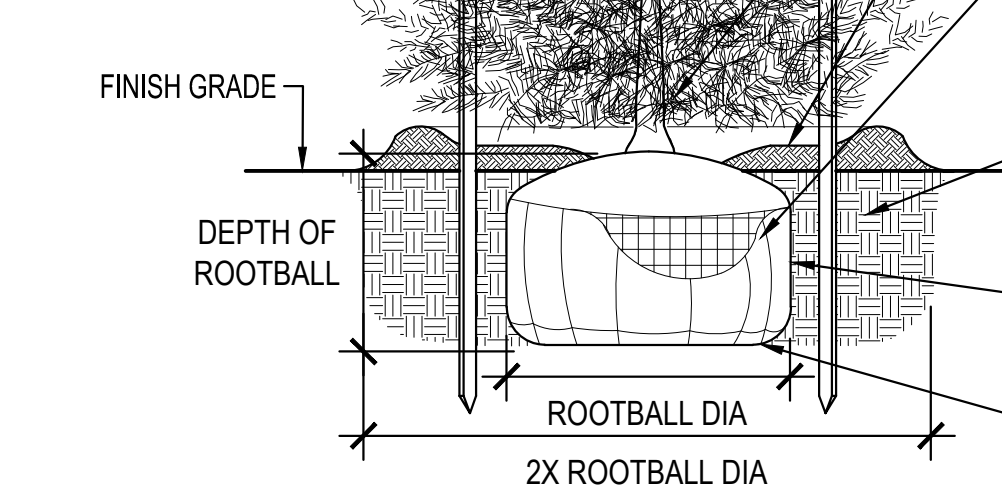
SCALE: 1" = 1'-0

***NOTE: DO NOT STAKE TREES UNLESS INDICATED.**



STAKING DIAGRAM, NO STAKING TREES UNDER 6'

HARDWOOD STAKES
2"x2"x8' LONG -
INSTALL OUTSIDE
OF ROOTBALL AT 5'
MAX HT



- NEVER CUT PRIMARY LEADER
- PRUNE ALL BROKEN, DAMAGED, OR RUBBING LIMBS AND BRANCHES IMMEDIATELY AFTER PLANTING - ALL PRUNING CUTS CLEAN AT 90 DEGREES
- TIE NYLON STRAP AROUND TRUNK AS SHOWN
- 1/2" WIDE NYLON STRAPPING - COLOR TO BE APPROVED BY LANDSCAPE ARCHITECT
- TOP OF ROOTBALL TO BE SET ABOVE GRADE 3"
- 3" LAYER OF DOUBLE SHREDDED HARDWOOD MULCH MOUNDED AT EDGE TO FORM A SHALLOW SAUCER - DO NOT PLACE MULCH DIRECTLY ON TREE TRUNK, LEAVE A MIN. 3" RING AROUND CROWN. WHEN PLACED IN PLANTING BED USE PLANTING BED MULCH SPECIFIED
- CUT AND REMOVE AT MINIMUM THE TOP HALF OF WIRE BASKETS, BURLAP AND/OR TWINE AND REMOVE FROM THE PLANTING PIT. AVOID CUTTING OR SCARING ROOTS. ANY ROOTS THAT ARE SCARED OR BROKEN DURING PLANTING SHOULD BE CUT CLEAN AT 90 DEGREES
- BACKFILL PLANTING PIT PER TREE PLANTING SPECIFICATIONS WHEN PROVIDED, OR WITH NATIVE SOIL-EXCEPT WHEN IN HEAVY CLAY, MIX AMENDED TOPSOIL FROM A LOCAL SOURCE WITH NATIVE SOIL
- EXCAVATE PLANTING PIT TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL MINUS 3" AND A MINIMUM TWICE THE DIAMETER OF THE ROOTBALL
- PLACE ROOTBALL ON UNDISTURBED SOIL AND ENSURE TRUNK OF TREES IS PLUMB

CONIFER / EVERGREEN TREE PLANTING DETAIL

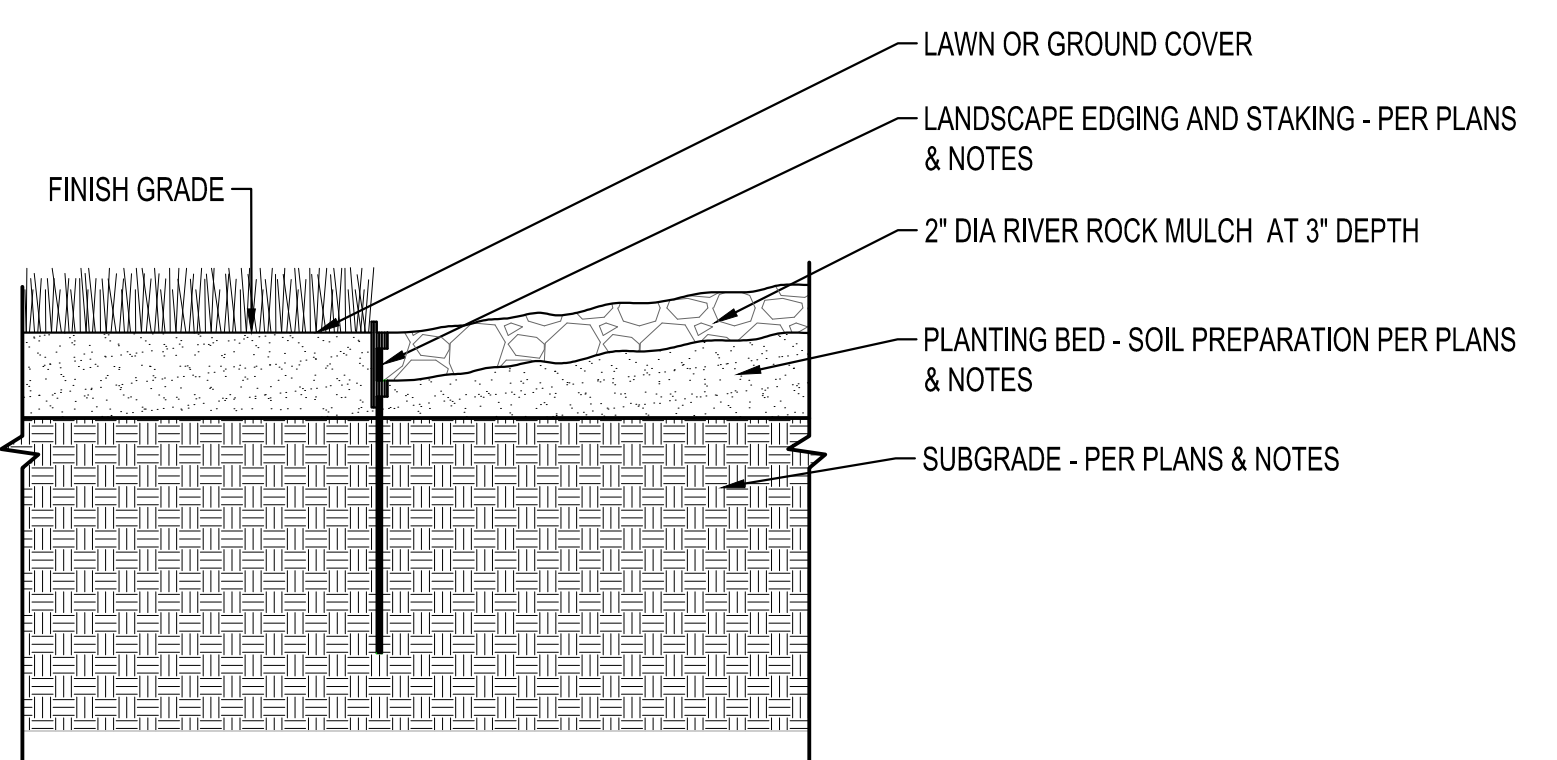
SCALE: 1" = 1'-0

GENERAL PLANTING NOTES

- COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS . CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO WORK.
- SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
- REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- ANY AREAS OUTSIDE THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO OWNER.
- LAWN AREAS SHALL HAVE 4" MINIMUM DEPTH OF TOPSOIL. TOPSOIL SHALL BE COMPACTED TO 85% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
- REFER TO PLANTING DETAILS PLAN FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES. REFER TO SPECIFICATIONS FOR MIX TYPE.
- FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER RESERVES THE RIGHT TO REVISE PLANTING LAYOUT AT TIME OF INSTALLATION.
- ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
- OWNER RESERVES THE RIGHT TO REVISE QUANTITIES TO SUIT BUDGET LIMITATIONS. CONTRACTOR'S UNIT BID PRICES SHALL PREVAIL FOR ANY CHANGES IN QUANTITIES.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE AND OWNER.
- ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (A.N.S.I.), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO A.N.S.I.
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED FREE OF CHARGE WITH THE SAME GRADE AND SPECIES. ALL TREES SHALL HAVE A STRONG CENTRAL LEADER.
- PROVIDE 2" DIA RIVER ROCK MULCH AT 3" DEPTH WITH PERMEABLE WEED BARRIER IN ALL PLANTING BEDS, AND MAINTENANCE STRIP AREAS. FOR TREES NOT LOCATED IN PARKING ISLANDS, OR PLANTING BEDS, PROVIDE DOUBLE SHREDDED HARDWOOD MULCH RING (NATURAL COLOR) AT 3" DEPTH PER PLANTING DETAILS.
- ALL AREAS DISTURBED BY CONSTRUCTION TO BE SODED.

IRRIGATION NOTES

- IRRIGATION SYSTEM SHALL BE CONSTRUCTED AS A DESIGN BUILD PROJECT. SUBMIT DESIGN DRAWINGS FOR APPROVAL BY OWNER.
- ONLY PLANTING BEDS AND TURF AREAS AS SHOWN ON IRRIGATION LIMITS SHALL BE SERVICED BY THE IRRIGATION SYSTEM. ALL IRRIGATION SHALL BE COMPATIBLE WITH LOCAL JURISDICTION CODE. IRRIGATION SHALL NOT OVER SPRAY ONTO ADJACENT HARDSCAPE, BUILDINGS, OR ANY OTHER NON-TURF AREAS.
- PROVIDE ALL IRRIGATION LINE, SPRAY HEADS, SLEEVING UNDER HARDSCAPE, VALVES, WIRING, CONTROLLER, BACK-FLOW PREVENTOR, MAIN & LATER PIPES, CENTRAL CONTROL WATER MANAGEMENT SYSTEM, AND ALL OTHER REQUIRED ACCESSORIES.
- CONFIRM POINT(S) OF CONNECTION AND CONTROL BOX LOCATIONS WITH OWNER PRIOR TO DESIGN OF IRRIGATION SYSTEM. COORDINATE LOCATIONS OF SLEEVING WITH ALL UTILITIES, FOOTINGS, AND ANY OTHER UNDERGROUND CONSTRUCTION.
- IRRIGATION WATER METER TO BE INSTALLED BY PLUMBING CONTRACTOR.

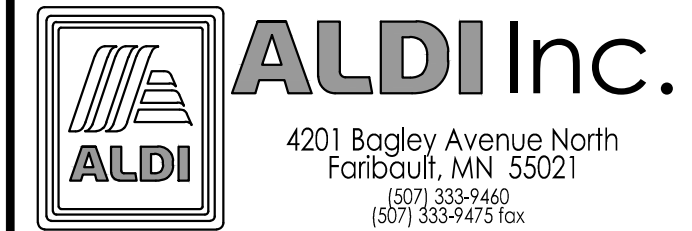


LANDSCAPE EDGING DETAIL

SCALE: 1" = 1'-0



MANAGING LOCATION:
MINNEAPOLIS / ST. PAUL OFFICE
7900 INTERNATIONAL DRIVE
INTERNATIONAL PLAZA, SUITE 550
MINNEAPOLIS, MN 55425
PHONE: 952.426.0699

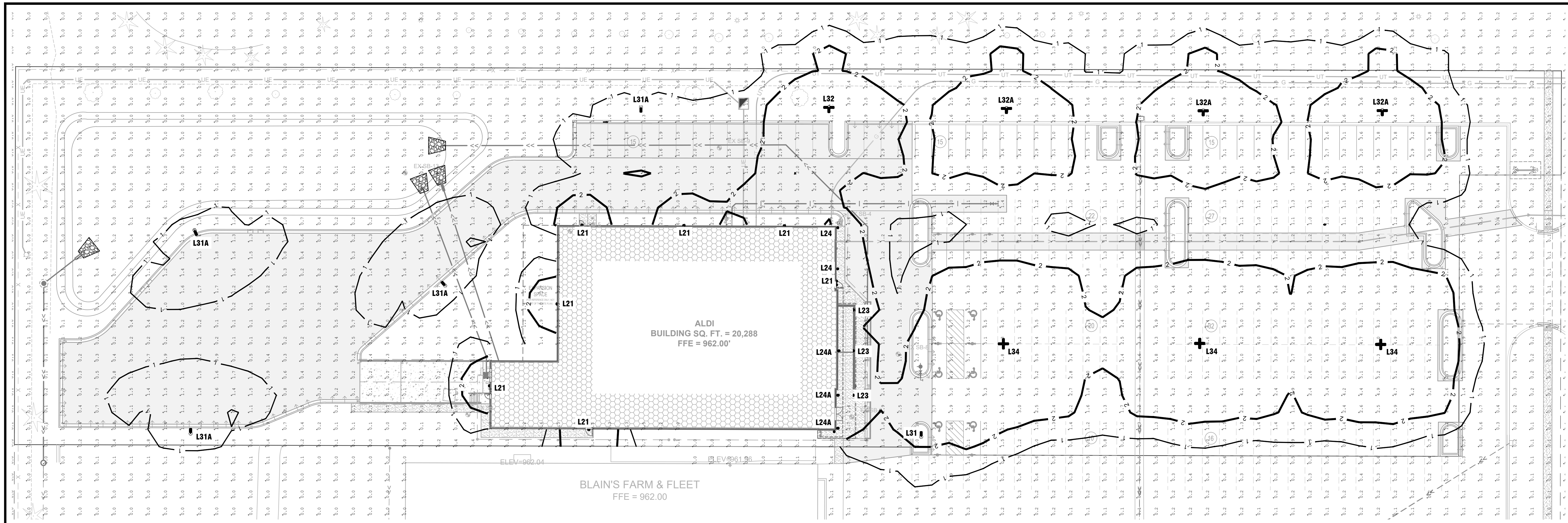


ALDI Inc. Store #: 64
CEDAR FALLS, IA
219 BRANDILYNN BLVD
CEDAR FALLS, IA 50613
BLACKHAWK COUNTY

Project Name & Location:

SITE PLANTING NOTES & DETAILS

Drawing Name:	ISG Project No.
Type: V7.0 ER	16-19997
Drawn By: JMF	
Designed By: JMF	C-520
Reviewed By: RJA	Drawing No.



Issued:		Date:
A	SITE PLAN SUBMITTAL	02/19/21
B	PERMIT SET	03/19/21
C	BID SET	04/05/21
D		
E		
Revisions:		Date:
1		
2		
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MANAGING LOCATION:
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 7900 INTERNATIONAL DRIVE
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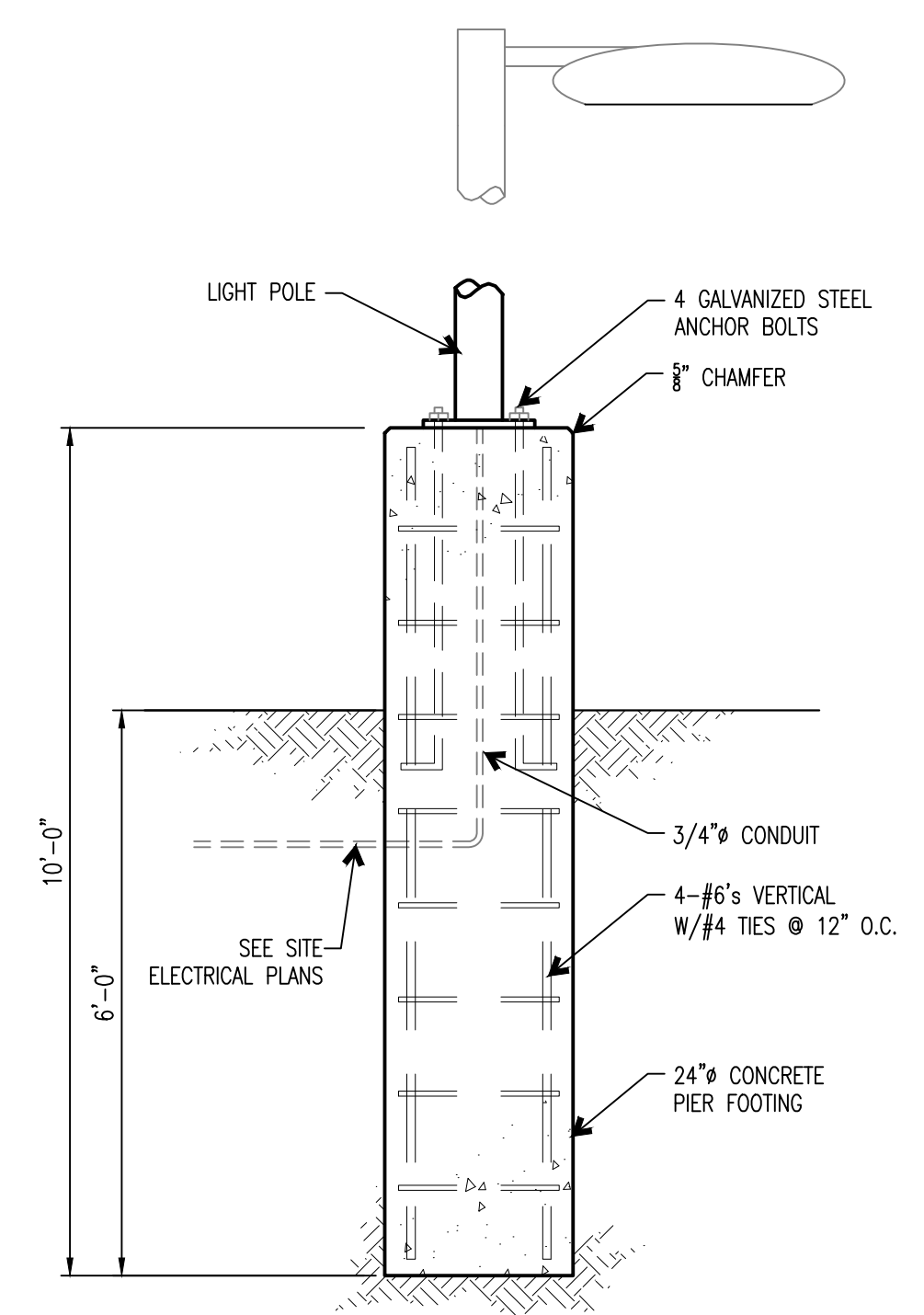
Project Name & Location:
SITE LIGHTING
PHOTOMETRICS PLAN

Drawing Name:
 Type: V7.0 ER
 Drawn By: JMF
 Designed By: JMF
 Reviewed By: RJA

ISG Project No.
 16-19997
 C-610
 Drawing No.



"L31", "L31A", "L32", "L32A", & "L34" LIGHT STYLE



1 LIGHT POLE DETAIL
 N.T.S.

Provide light fixtures as shown on Fixture Schedule. Substitutions shall have prior approval by the Project Engineer before bid date. Being listed as an acceptable Manufacturer in no way relieves the Contractors obligation to provide all equipment and features in accordance with these specifications.

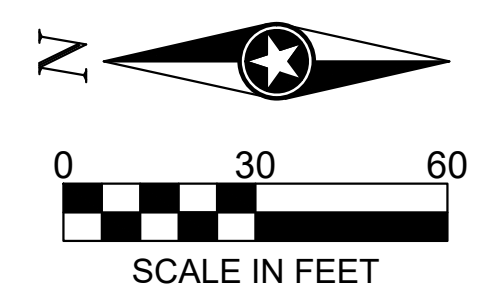
LIGHT FIXTURE SCHEDULE

TYPE	STYLE	MANUFACTURER/MODEL NUMBER	LAMPS	REMARKS
L21	BUILDING MOUNTED WALL PACK	CREE LIGHTING #XSPW-B-WM-3ME-4L-30K-UL-SV-P	LED	MOUNT FIXTURE AT 12'-0" ABOVE FINISHED FLOOR
L23	DECORATIVE WALL SCONCES	CREE LIGHTING #AL-42WLED-UD-CG-120-30K	LED	MOUNT FIXTURE AT 8'-0" ABOVE FINISHED FLOOR
L24	ACCENT CYLINDER	CREE LIGHTING #CL-20364LEDD-SAT-CLR-SB	LED	MOUNT FIXTURE AT 10'-6" ABOVE FINISHED FLOOR
L24A	ACCENT CYLINDER	CREE LIGHTING #CL-20364LEDD-SAT-CLR-SB	LED	MOUNT FIXTURE AT 17'-2" ABOVE FINISHED FLOOR
L31	SITE POLE SINGLE HEAD @ 90 POLE	CREE LIGHTING #OSO-A-NM-4ME-8-57K-UL-SV, #WOSO-DA-SV CREE LIGHTING #SSS-4-11-25-CW-BS-1D-C-SV	LED	1@90 FIXED ARM MOUNT 25'-0" POLE
L31A	SITE POLE SINGLE HEAD @ 90 POLE	CREE LIGHTING #OSO-A-NM-2ME-8-57K-UL-SV, #WOSO-DA-SV, #WOSO-BLSMF CREE LIGHTING #SSS-4-11-25-CW-BS-1D-C-SV	LED	1@90 FIXED ARM MOUNT 25'-0" POLE
L32	SITE POLE TRIPLE HEAD @ 90 POLE	CREE LIGHTING #OSO-A-NM-4ME-8-57K-UL-SV, #WOSO-DA-SV, #WOSO-BLSMF CREE LIGHTING #SSS-4-11-25-CW-BS-3D90-C-SV	LED	3@90 FIXED ARM MOUNT 25'-0" POLE
L32A	SITE POLE TRIPLE HEAD @ 90 POLE	CREE LIGHTING #OSO-A-NM-4ME-8-57K-UL-SV, #WOSO-DA-SV, #WOSO-BLSMF CREE LIGHTING #SSS-4-11-25-CW-BS-3D90-C-SV	LED	3@90 FIXED ARM MOUNT 25'-0" POLE ON EXISTING BASE
L34	SITE POLE QUAD HEAD @ 90 POLE	CREE LIGHTING #OSO-A-NM-4ME-8-57K-UL-SV, #WOSO-DA-SV CREE LIGHTING #SSS-4-11-25-CW-BS-4D90-C-SV	LED	4@90 FIXED ARM MOUNT 25'-0" POLE ON EXISTING BASE

FOOTCANDLE LEGEND

1.00 FOOTCANDLE LINE	1
2.00 FOOTCANDLE LINE	2

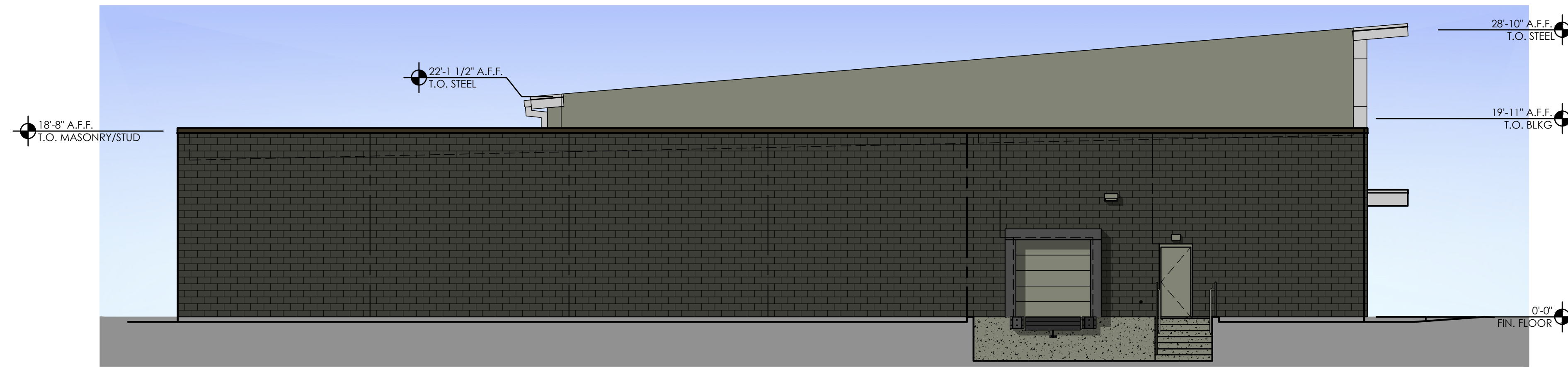
NOTE: SEE ELECTRICAL PLAN FOR SITE ELECTRICAL LAYOUT



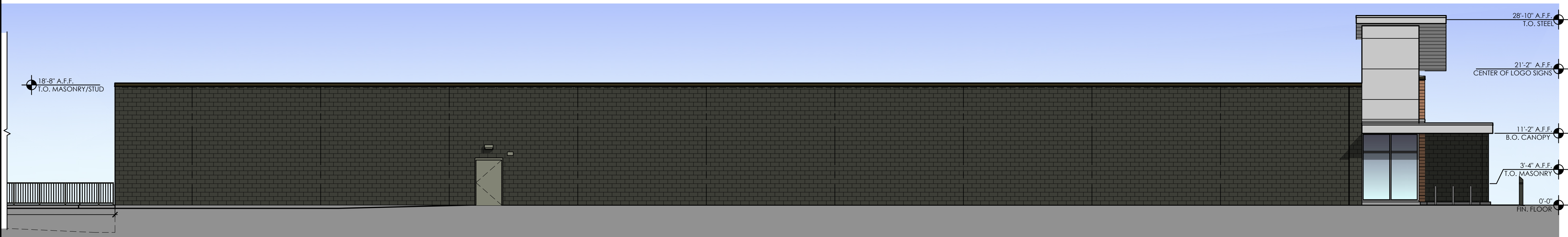
DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
TOWER SIGN	2	74.9	149.8
TOTAL SIGNAGE			149.8
SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT SUBMITTAL			



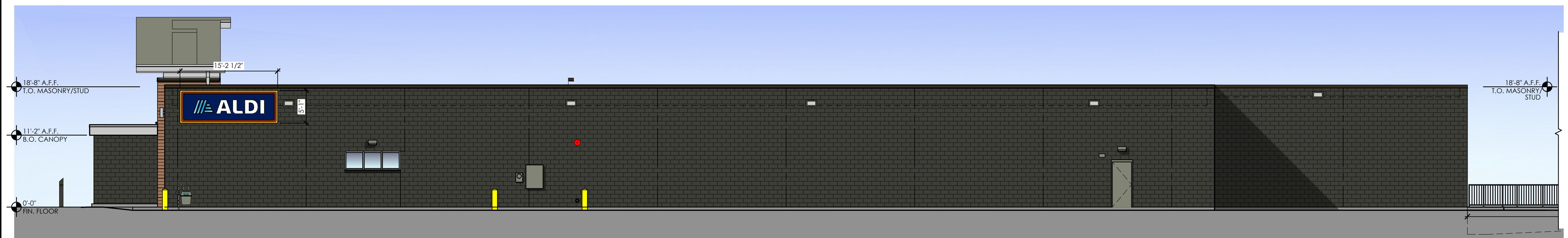
4 South Elevation
SCALE: 1/8" = 1'-0"



3 North Elevation
SCALE: 1/8" = 1'-0"



2 West Elevation
SCALE: 1/8" = 1'-0"



1 East Elevation
SCALE: 1/8" = 1'-0"

Issued: Doc. No. Item 9.

A	Issued for Client Review	09/29/20
B	Issued for Client Review	11/11/20
C	Issued for Client Review	11/24/20
D	Issued for Client Review	12/03/20
E	Issued for Client Review	02/18/21
Revisions:		Date:
1		
2		
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4		
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9		

Seal	Seal
PROJECT ARCHITECT/ENGINEER	DATE
PROJECT LEAD	DATE
PROJECT DESIGNER	DATE

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APD
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615 Fishers Run Victor, NY 14564
585.742.2222 - www.apd.com

ALDI Inc.
4201 Bagley Avenue North
Faribault, MN 55021
(507) 333-9469
(507) 333-9475 fax

ALDI Inc. Store #: XX
Cedar Falls, IA
Project Address
Cedar Falls, IA
Black Hawk County
Project Name & Location:

Exterior Elevations Drawing Name:		Project No. 20-0647A
Date:	09/28/20	
Type:	RHSD-V7	
Drawn By:	CB	CEE-5
Scale:	As Noted	Drawing No.

EXTERIOR FINISH SCHEDULE			
KEY	MATERIAL / MFG.	COLOR / NO.	NOTES
A1	PREFINISHED METAL COPING	A1 - SILVER - AT HIGH ROOF & CANOPY A1a - PETERSEN ALUM - MUSKET GREY-AT BRICK A1b - PETERSEN ALUM - #CEDAR 397C0290 SPRAY CODE - AT NICHIIHA TOWERS	SEE SPECIFICATIONS APPENDIX 'B'
A2	BASE BID - BRICK 'A' SPEC-BRICK CONCRETE MASONRY VENEER	4WXBH16L (12W @ CART WALL ONLY) CHESAPEAKE BLEND w/ HOLCIM 'SMITH GRAY' MORTAR ALT: SOLOMON '85X DARK CHOCOLATE'	CONTACT THE CONCRETE PRODUCTS GROUP AT 800-789-0872 FOR ORDERING SEE SPEC FOR ADDITIONAL INFO
	ALTERNATE No. 2 - BRICK 'B' QUICK-BRICK CONCRETE MASONRY VENEER	4WXBH16L (12W @ CART WALL ONLY) MAROUS BLEND w/ HOLCIM 'SMITH GRAY' MORTAR ALT: SOLOMON '85X DARK CHOCOLATE'	CONTACT ECHELON MASONRY AT 800-899-8455 FOR ORDERING SEE SPEC FOR ADDITIONAL INFO
	ALTERNATE No. 3 - BRICK 'C' BELDEN BRICK	MODULAR EBONY BLACK BLEND w/ HOLCIM 'SMITH GRAY' MORTAR MORTAR ALT: SOLOMON '85X DARK CHOCOLATE'	CONTACT THE BELDEN BRICK COMPANY AT 330-451-2031 FOR ORDERING SEE SPEC FOR ADDITIONAL INFO
A3	PREFINISHED ALUM. SILL FLASHING	A3a - BRIGHT SILVER A3b - PETERSEN ALUM # CEDAR 397C0290 SPRAY CODE'	SEE SPEC FOR ADDITIONAL INFO
A4	ALUMINUM STOREFRONT SYSTEM	ANODIZED ALUM.	RE: DWG. A602
A5	MEMBRANE ROOFING	GRAY	TOP OF SLOPED ROOF, CANOPY ROOF, AND BACK OF RAISED ROOF PROJECTIONS - SEE SPECIFICATIONS APPENDIX 'B'
A6	METAL SOFFIT PANELS	A6 - SOLID PANELS - BRIGHT SILVER A6a - 1/2 VENTED PANELS - BRIGHT SILVER	RE: DWG. A301-A304
A7	EXTERIOR PAINT	PT-19 / CL-9	RE: DWG. A603
A8	ALUMINUM CURTAIN WALL SYSTEM	ANODIZED ALUMINUM	RE: DWG. A602
A9	ALUMINUM COMPOSITE PANEL	BRIGHT SILVER	PROVIDE PANEL JOINTS AS SHOWN - PROVIDE ONE PIECE TIGHT FIT EXTRUDED MOLDING INSTALLATION SYSTEM WITH CENTER REVEAL TRIM BETWEEN PANELS AND J TRIM AT PANEL EDGES.
A10	NICHIIHA FIBER CEMENT EXTERIOR CLADDING	VINTAGEWOOD 'CEDAR'	PANELS SHALL EXTEND ONTO THE ROOF FOR THE FULL DEPTH OF THE BUMPOUT. CONTACT NICHIIHA AT 770-805-9466 FOR ORDERING. SEE SPEC FOR TRIM REQUIREMENTS AND ADDITIONAL INFO. ALL INCLUDED TRIM (H, J, L, CORNER, ETC) TO MATCH FCP
A11	BLRD-2	PT-19 / CL-4	RE: DWG A603
A12	BLRD-4		RE: DWG A603
A13	GUARD RAIL TYPE "A"	GALVANIZED STEEL	RE: DWG B2/A507
A14	GUARD RAIL TYPE "B"	GALVANIZED STEEL	RE: DWG B2/A507
A15	BLRD-3	GALVANIZED	RE: DWG A603
A16	DOCK LEVELER / SEAL AND BUMPERS	LEVELER - FACTORY FINISH / SEAL AND BUMPERS - FACTORY FINISH - BLACK	PROVIDE BRICK BEHIND DOCK SEAL
A17	MASONRY CONTROL JOINT		MAX 20' OC
A18	OVERFLOW SCUPPER	MATCH COPING ABOVE	RE: DWG A2/A507
A19	ARCHITECTURAL CAST STONE	TANNERSTONE: AG-1	SEE SPEC FOR ADDITIONAL INFORMATION - MORTAR COLOR TO MATCH CAST STONE
A20	ALDI TOWER SIGN	BY SIGN VENDOR	7'-11 1/8" w. x 9'-5 1/2" h.; VERIFY SIGN SIZE PRIOR TO FRAMING OPENING SEE DETAIL C1/A504
A21	CRTB	NATURAL	RE: DWG A603 - SEE STRUCTURAL DWGS

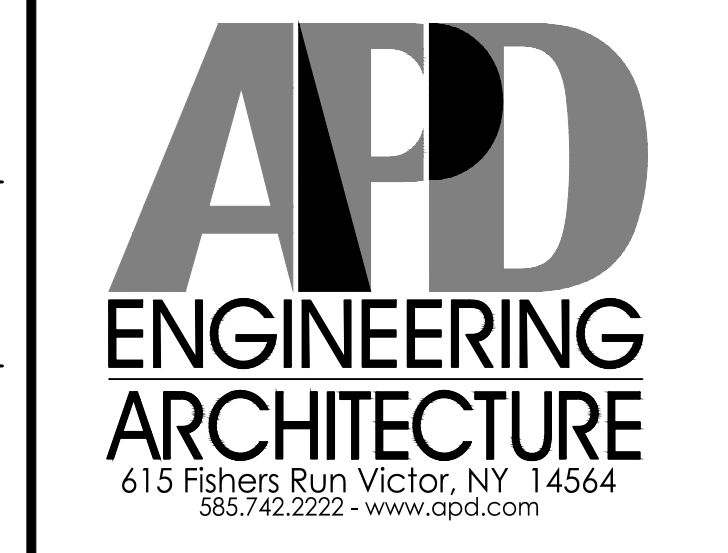
EXTERIOR FINISH SCHEDULE			
KEY	MATERIAL / MFG.	COLOR / NO.	NOTES
A22	KNOX BOX	FACTORY FINISH	CONFIRM TYPE AND LOCATION WITH LOCAL FIRE MARSHAL
A23	AUTO DOOR SYSTEM & TRANSOM	ANODIZED ALUMINUM	RE: DWG A601 & A602
A24	ALDI LOGO SIGN	BY SIGN VENDOR	SURFACE MOUNTED SIGN: 15'-2 1/2" W. X 5'-1" H.
A25	8" X 8" PRE-FINISHED ALUM GUTTER	MATCH PREFINISHED METAL COPING	
A26	8" X 8" PRE-FINISHED ALUM DOWNSPOUT	MATCH PREFINISHED METAL COPING	TERMINATE AT CONC. SPLASH BLOCK
A27	ACP H/J TRIM / JOINT COVER		TYPICAL AT EDGES AND BUTT JOINTS OF ACP
A28	NICHIIHA FIBER CEMENT PANEL BASE FLASHING	PETERSEN ALUMINUM - #CEDAR 397C0290 SPRAY CODE'	SEE SPEC FOR ADDITIONAL INFO
A29	NOT USED		
A30	NOT USED		
A31	NICHIIHA CONTROL JOINT WITH "H" CLIP		
A32	NOT USED		
A33	NOT USED		
E1	EXIT DISCHARGE LIGHT	FACTORY FINISH	MOUNT @ 8'-0" A.F.F.
E2	WALL SCONCE	FACTORY FINISH	MOUNT @ 14'-8" A.F.F.; RE: DWG. A111 FOR DIMENSIONS
E3	JUNCTION BOX WITH COVER FOR FUTURE CARD READER		MOUNT CENTERED @ 46" A.F.F., SEE ELEC DWGS
E4	UTILITY METERING & C.T.	FACTORY FINISH	SEE ELECTRICAL DWGS
E5	EXTERIOR WALL PACK	FACTORY FINISH	MAN DOORS - MOUNT @ 9'-0" A.F.F., BREAK ROOM WINDOW @ 10'-0" A.F.F. LOADING DOCK - MOUNT @ 12'-0" A.F.F.
E6	EXTERIOR DUPLEX RECEPTACLE	FACTORY FINISH	MOUNT @ 1'-6" A.F.F. IN 4" SQUARE J-BOX
E7	NOT USED		
F1	FIRE DEPT. CONNECTION	FACTORY FINISH	SEE FIRE PROTECTION DWGS
F2	MOTOR GONG	FACTORY FINISH	SEE FIRE PROTECTION DWGS
P1	HOSE BIB	FACTORY FINISH	SEE PLUMBING DWGS
P2	RPZ DISCHARGE	FACTORY FINISH	SEE PLUMBING DWGS
P3	GAS METER	FACTORY FINISH	SEE PLUMBING DWGS
XX	GLAZING KEY		RE: DWG A602
VV	ALIGN KEY		A: ALIGN NICHIIHA PANEL JOINTS AND WINDOW MULLIONS B: ALIGN ALUMINUM COMPOSITE PANEL JOINTS AND WINDOW MULLIONS C: ALIGN NICHIIHA PANEL JOINTS, ALUMINUM COMPOSITE PANEL JOINTS, AND WINDOW MULLIONS

Issued:	03/19/21
A Issued for Permit	03/19/21
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Revisions:	Date:
1	
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Seal	Seal
PROJECT ARCHITECT/ENGINEER	DATE
PROJECT LEAD	DATE
PROJECT DESIGNER	DATE

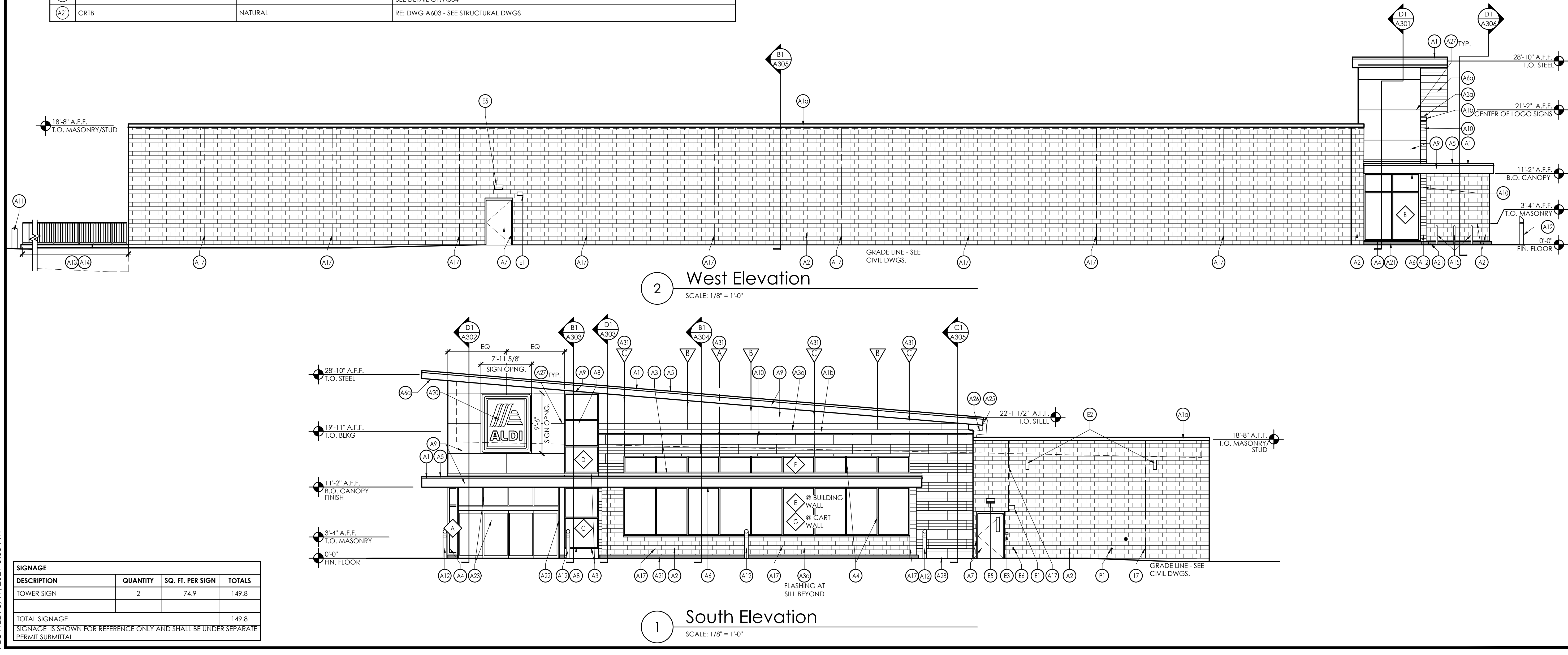
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Cedar Falls, IA
219 Brandilynn Boulevard
Cedar Falls, IA
Black Hawk County
Project Name & Location:

Exterior Elevations Drawing Name:	Project No.
Date: 02/25/21	20-0647B
Type: RHSDV7ER	
Drawn By: CB	A-201
Scale: As Noted	Drawing No.



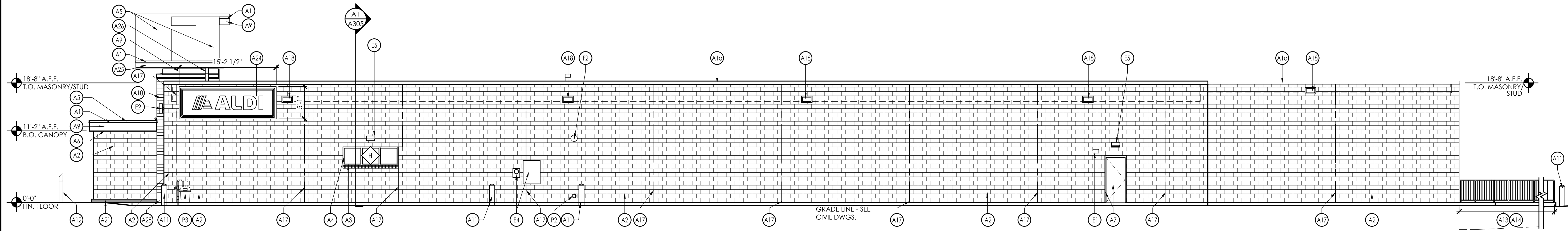
SIGNAGE			
DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
TOWER SIGN	2	74.9	149.8
TOTAL SIGNAGE			149.8

SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT SUBMITTAL

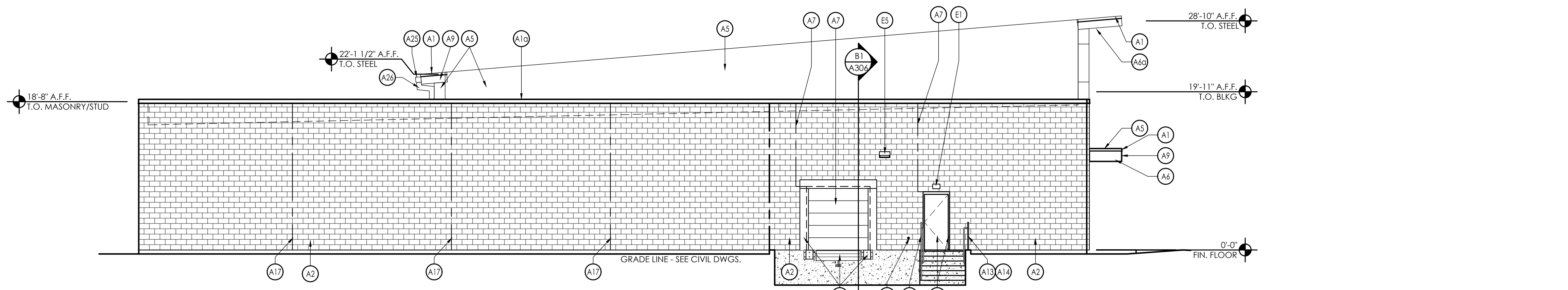
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EXTERIOR FINISH SCHEDULE			
KEY	MATERIAL / MFG.	COLOR / NO.	NOTES
A1	PREFINISHED METAL COPING	A1 - SILVER - AT HIGH ROOF & CANOPY A1a - PETERSEN ALUM - MUSKET GREY-AT BRICK A1b - PETERSEN ALUM - #CEDAR 397C0290 SPRAY CODE - AT NICHIIA TOWERS	SEE SPECIFICATIONS APPENDIX 'B'
A2	BASE BID - BRICK 'A' SPEC-BRICK CONCRETE MASONRY VENEER	4WX8HX16L (12W @ CART WALL ONLY) CHESAPEAKE BLEND w/ HOLCIM 'SMITH GRAY' MORTAR MORTAR ALT: SOLOMON '85X DARK CHOCOLATE'	CONTACT THE CONCRETE PRODUCTS GROUP AT 800-789-0872 FOR ORDERING SEE SPEC FOR ADDITIONAL INFO
A2	ALTERNATE No. 2 - BRICK 'B' QUICK-BRICK CONCRETE MASONRY VENEER	4WX8HX16L (12W @ CART WALL ONLY) MAROUS BLEND w/ HOLCIM 'SMITH GRAY' MORTAR MORTAR ALT: SOLOMON '85X DARK CHOCOLATE'	CONTACT ECHELON MASONRY AT 800-899-8455 FOR ORDERING SEE SPEC FOR ADDITIONAL INFO
A2	ALTERNATE No. 3 - BRICK 'C' BELDEN BRICK	MODULAR EBONY BLACK BLEND w/ HOLCIM 'SMITH GRAY' MORTAR MORTAR ALT: SOLOMON '85X DARK CHOCOLATE'	CONTACT THE BELDEN BRICK COMPANY AT 330-451-2031 FOR ORDERING SEE SPEC FOR ADDITIONAL INFO
A3	PREFINISHED ALUM. SILL FLASHING	A3 - BRIGHT SILVER A3a - PETERSEN ALUM # CEDAR 397C0290 SPRAY CODE'	SEE SPEC FOR ADDITIONAL INFO
A4	ALUMINUM STOREFRONT SYSTEM	ANODIZED ALUM.	RE: DWG. A602
A5	MEMBRANE ROOFING	GRAY	TOP OF SLOPED ROOF, CANOPY ROOF, AND BACK OF RAISED ROOF PROJECTIONS - SEE SPECIFICATIONS APPENDIX 'B'
A6	METAL SOFFIT PANELS	A6 - SOLID PANELS - BRIGHT SILVER A6a - 1/2 VENTED PANELS - BRIGHT SILVER	RE: DWG. A301-A304
A7	EXTERIOR PAINT	PT-19 / CL-9	RE: DWG. A603
A8	ALUMINUM CURTAIN WALL SYSTEM	ANODIZED ALUMINUM	RE: DWG. A602
A9	ALUMINUM COMPOSITE PANEL	BRIGHT SILVER	PROVIDE PANEL JOINTS AS SHOWN - PROVIDE ONE PIECE TIGHT FIT EXTRUDED MOLDING INSTALLATION SYSTEM WITH CENTER REVEAL TRIM BETWEEN PANELS AND J TRIM AT PANEL EDGES.
A10	NICHIIA FIBER CEMENT EXTERIOR CLADDING	VINTAGEWOOD 'CEDAR'	PANELS SHALL EXTEND ONTO THE ROOF FOR THE FULL DEPTH OF THE BUMPOUT. CONTACT NICHIIA AT 770-805-9466 FOR ORDERING. SEE SPEC FOR TRIM REQUIREMENTS AND ADDITIONAL INFO. ALL INCLUDED TRIM (H, J, L, CORNER, ETC) TO MATCH FCP
A11	BLRD-2	PT-19 / CL-4	RE: DWG A603
A12	BLRD-4		RE: DWG A603
A13	GUARD RAIL TYPE "A"	GALVANIZED STEEL	RE: DWG B2/A507
A14	GUARD RAIL TYPE "B"	GALVANIZED STEEL	RE: DWG B2/A507
A15	BLRD-3	GALVANIZED	RE: DWG A603
A16	DOCK LEVELER / SEAL AND BUMPERS	LEVELER - FACTORY FINISH / SEAL AND BUMPERS - FACTORY FINISH - BLACK	PROVIDE BRICK BEHIND DOCK SEAL
A17	MASONRY CONTROL JOINT		MAX 20' OC
A18	OVERFLOW SCUPPER	MATCH COPING ABOVE	RE: DWG A2/A507
A19	ARCHITECTURAL CAST STONE	TANNERSTONE: AG-1	SEE SPEC FOR ADDITIONAL INFORMATION - MORTAR COLOR TO MATCH CAST STONE
A20	ALDI TOWER SIGN	BY SIGN VENDOR	7'-11 1/8" w. x 9'-5 1/2" h.; VERIFY SIGN SIZE PRIOR TO FRAMING OPENING SEE DETAIL C1/A504
A21	CRTB	NATURAL	RE: DWG A603 - SEE STRUCTURAL DWGS

EXTERIOR FINISH SCHEDULE			
KEY	MATERIAL / MFG.	COLOR / NO.	NOTES
A22	KNOX BOX	FACTORY FINISH	CONFIRM TYPE AND LOCATION WITH LOCAL FIRE MARSHAL
A23	AUTO DOOR SYSTEM & TRANSOM	ANODIZED ALUMINUM	RE: DWG A601 & A602
A24	ALDI LOGO SIGN	BY SIGN VENDOR	SURFACE MOUNTED SIGN: 15'-2 1/2" W. X 5'-1" H.
A25	8" X 8" PRE-FINISHED ALUM GUTTER	MATCH PREFINISHED METAL COPING	
A26	8" X 8" PRE-FINISHED ALUM DOWNSPOUT	MATCH PREFINISHED METAL COPING	TERMINATE AT CONC. SPLASH BLOCK
A27	ACP H/J TRIM / JOINT COVER		TYPICAL AT EDGES AND BUTT JOINTS OF ACP
A28	NICHIIA FIBER CEMENT PANEL BASE FLASHING	PETERSEN ALUMINUM - #CEDAR 397C0290 SPRAY CODE'	SEE SPEC FOR ADDITIONAL INFO
A29	NOT USED		
A30	NOT USED		
A31	NICHIIA CONTROL JOINT WITH "H" CLIP		
A32	NOT USED		
A33	NOT USED		
E1	EXIT DISCHARGE LIGHT	FACTORY FINISH	MOUNT @ 8'-0" A.F.F.
E2	WALL SCONCE	FACTORY FINISH	MOUNT @ 14'-8" A.F.F.; RE: DWG. A111 FOR DIMENSIONS
E3	JUNCTION BOX WITH COVER FOR FUTURE CARD READER		MOUNT CENTERED @ 46" A.F.F., SEE ELEC DWGS
E4	UTILITY METERING & C.T.	FACTORY FINISH	SEE ELECTRICAL DWGS
E5	EXTERIOR WALL PACK	FACTORY FINISH	MAN DOORS - MOUNT @ 9'-0" A.F.F., BREAK ROOM WINDOW @ 10'-0" A.F.F. LOADING DOCK - MOUNT @ 12'-0" A.F.F.
E6	EXTERIOR DUPLEX RECEPTACLE	FACTORY FINISH	MOUNT @ 1'-6" A.F.F. IN 4" SQUARE J-BOX
E7	NOT USED		
F1	FIRE DEPT. CONNECTION	FACTORY FINISH	SEE FIRE PROTECTION DWGS
F2	MOTOR GONG	FACTORY FINISH	SEE FIRE PROTECTION DWGS
P1	HOSE BIB	FACTORY FINISH	SEE PLUMBING DWGS
P2	RPZ DISCHARGE	FACTORY FINISH	SEE PLUMBING DWGS
P3	GAS METER	FACTORY FINISH	SEE PLUMBING DWGS
XX	GLAZING KEY		RE: DWG A602
VV	ALIGN KEY		A: ALIGN NICHIIA PANEL JOINTS AND WINDOW MULLIONS B: ALIGN ALUMINUM COMPOSITE PANEL JOINTS AND WINDOW MULLIONS C: ALIGN NICHIIA PANEL JOINTS, ALUMINUM COMPOSITE PANEL JOINTS, AND WINDOW MULLIONS



2 East Elevation
SCALE: 1/8" = 1'-0"



1 North Elevation
SCALE: 1/8" = 1'-0"

SIGNAGE			
DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
TOWER SIGN	2	74.9	149.8
TOTAL SIGNAGE			149.8

SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT SUBMITTAL

Issued: 03/19/21

Revisions: Date:

Seal PROJECT ARCHITECT/ENGINEER DATE

PROJECT LEAD DATE

PROJECT DESIGNER DATE

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APD
ENGINEERING
ARCHITECTURE
615 Fishers Run Victor, NY 14564
585.742.2222 - www.apd.com

ALDI Inc.
4201 Bagley Avenue North
Faribault, MN 55021
(507) 333-9469
(507) 333-9475 Fax

ALDI Inc. Store #: 64
Cedar Falls, IA
219 Brandilyn Boulevard
Cedar Falls, IA
Black Hawk County
Project Name & Location:

Exterior Elevations
Drawing Name:

Date: 02/25/21

Type: RHSDV7ER

Drawn By: CB

Scale: As Noted

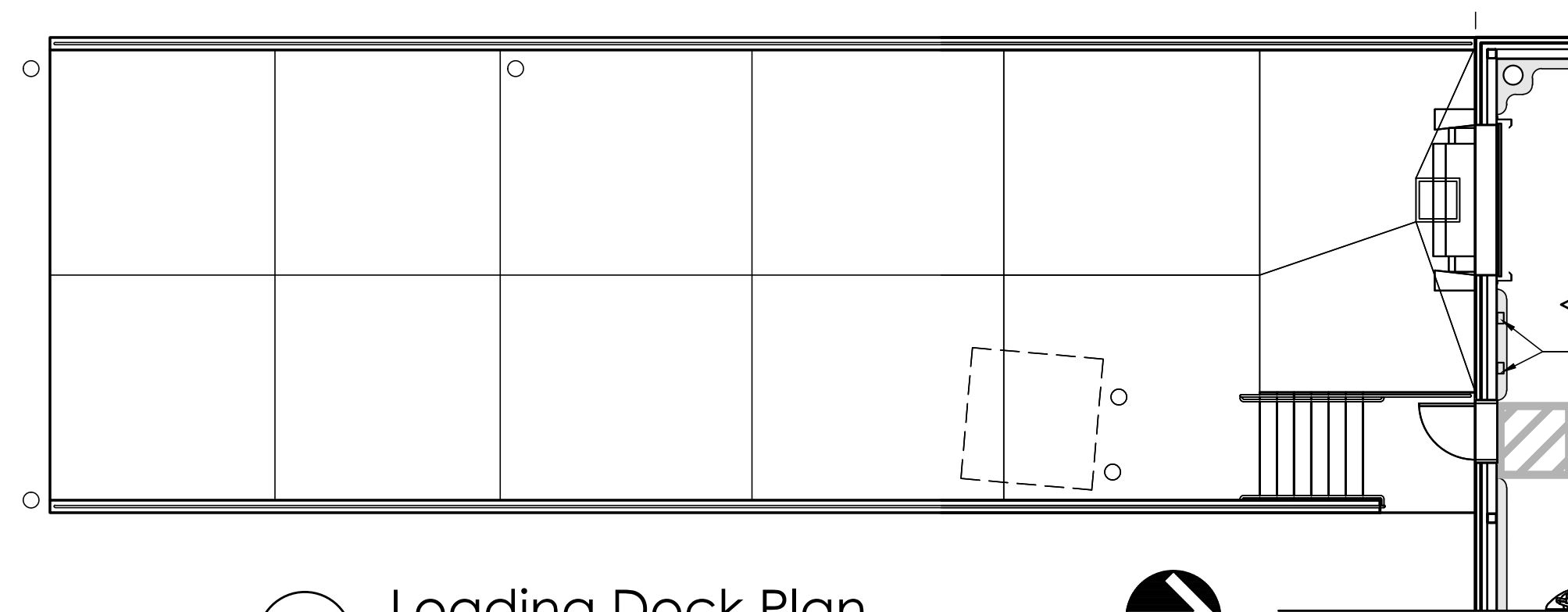
Project No. 20-0647B

A-202

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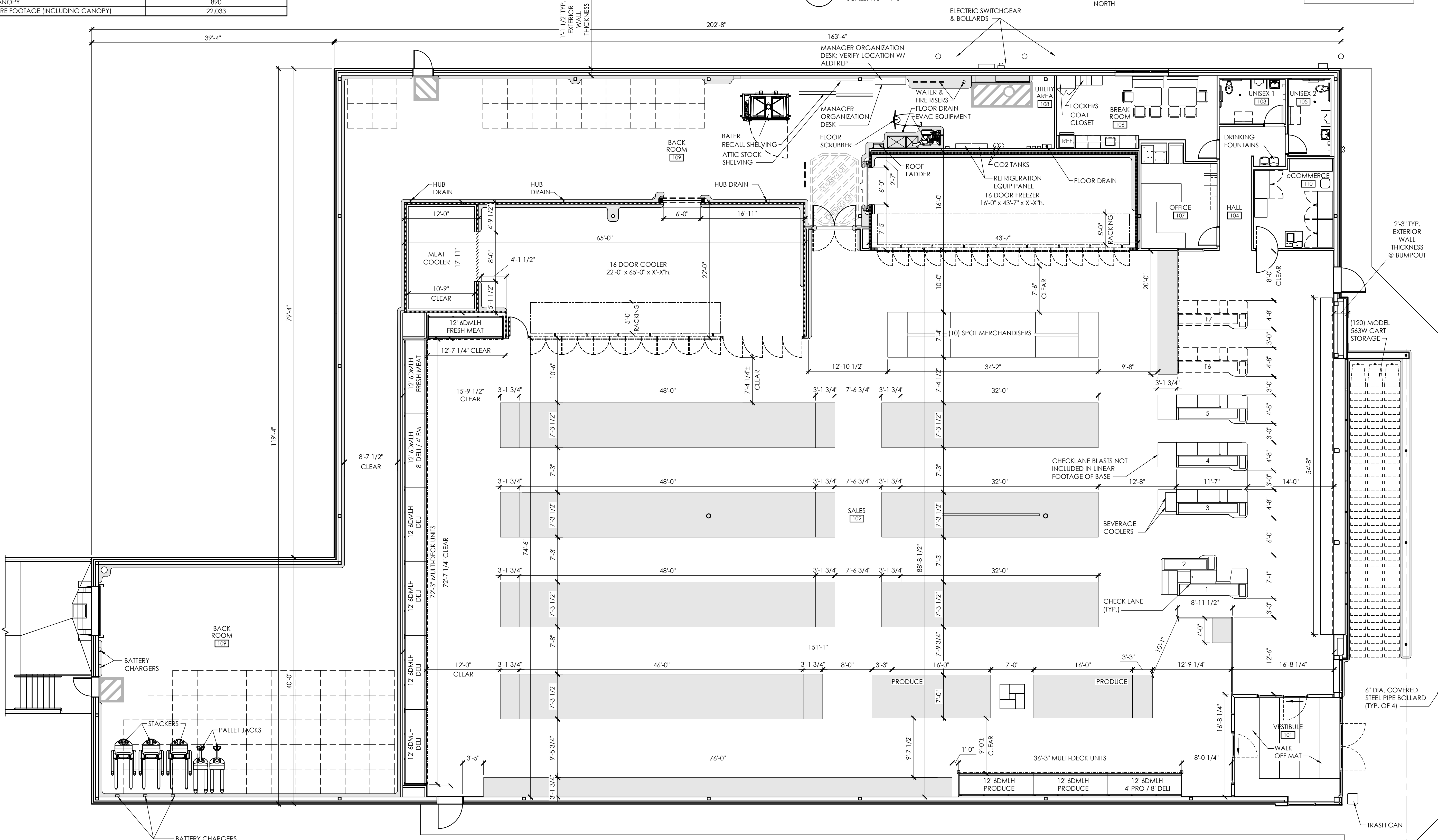
CEDAR FALLS, IA - AREA SUMMARY		
OCCUPANCY USE	ROOM NAME	SQUARE FOOTAGE
MERCANTILE (M)	SALES / VESTIBULE	12,541
	UNISEX 2	84
	UNISEX 1	76
	HALL	137
	SUBTOTAL (MERCANTILE)	12,838
BUSINESS (B)	OFFICE	190
	BREAK ROOM	305
	ECOMMERCE	175
	SUBTOTAL (BUSINESS)	670
STORAGE / STOCK (S-2)	BACKROOM	4,571
	COOLER	1,313
	FREEZER	648
SUBTOTAL (STORAGE / STOCK)	6,532	
SUBTOTAL (OCCUPANCIES)		20,040
EXTERIOR / INTERIOR WALLS / UNOCCUPIED SPACE		1,103
BUILDING SQUARE FOOTAGE		21,143
EXTERIOR CANOPY		890
TOTAL SQUARE FOOTAGE (INCLUDING CANOPY)		22,033

CEDAR FALLS, IA - OPERATIONS DATA	
ITEM	QUANTITY
LINEAR FOOTAGE OF BASE (PRODUCE INCLUDED)	828'-7"
ASSUMED PALLET STORAGE	73
BUILDING DIMENSIONS	119'-4" x 153'-4"
SALES FLOOR DIMENSIONS	74'-6" x 151'-1"
LENGTH OF MULTIDECK	120'
COOLER MILK DOORS	4
COOLER GENERAL DOORS	12
FREEZER GENERAL DOORS	16
SPOT MERCHANTISERS	10
CART STORAGE	120



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 - ALL DIMENSIONS TO WALLS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
 - THIS FACILITY DOES NOT CONTAIN A BAKERY, A BUTCHER, A DELI OR FISH COUNTER.
 - ALL FOOD IS PREPACKAGED. THERE IS NO ON SITE FOOD PREPARATION.
 - GONDOLA LOCATIONS ARE MEASURED FROM THE FACE OF THE STAINLESS STEEL PRICE TAG MOLDING (SSPFM).

2 Loading Dock Plan
SCALE: 1/8" = 1'-0"



1 Operations Plan
SCALE: 1/8" = 1'-0"

Issued:		Date:
A	Issued for Client Review	09/29/20
B	Issued for Client Review	11/11/20
C	Issued for Client Review	11/24/20
D	Issued for Client Review	12/03/20
E	Issued for Client Review	02/18/21
Revisions:		Date:
1		
2		
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Seal	Seal
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PROJECT LEAD	DATE
PROJECT DESIGNER	DATE

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APD
ENGINEERING
ARCHITECTURE
615 Fishers Run Victor, NY 14564
585.742.2222 - www.apd.com

ALDI Inc.
4201 Bagley Avenue North
Faribault, MN 55021
(507) 333-9465
(507) 333-9475 fax

ALDI Inc. Store #: XX
Cedar Falls, IA
Project Address
Cedar Falls, IA
Black Hawk County
Project Name & Location:

Operations Plan	
Drawing Name:	Project No.
Date: 09/28/20	20-0647A
Type: RHSD-V7	CFP-3
Drawn By: CB	
Scale: As Noted	Drawing No.